



SKY EVERTON

FREEHOLD

TOMORROW'S MOST FAVOURABLE ADDRESS

**POSITION YOURSELF IN A LOCATION
LIKE NEVER BEFORE. EXPERIENCE AN
EXTRAORDINARY EXPRESSION OF
PURE PLEASURE, OF VISION, OF SPACE,
LIGHT AND QUALITY.**

FREEHOLD



ENVISION A NEW CITY

**IN A NEW WORLD-CLASS WATERFRONT DISTRICT,
THE GRAND VISION WILL RESHAPE AND
EVOLVE THE WAY WE LIVE, WORK AND PLAY.**

GREATER SOUTHERN WATERFRONT

SIX TIMES THE SIZE OF MARINA BAY, THE GREATER SOUTHERN WATERFRONT WILL STRETCH FROM PASIR PANJANG ALL THE WAY TO MARINA EAST.

It is part of Singapore's Master Plan for a new gateway that will take urban waterfront living into the next era and beyond. Concepts and ideas have been proposed and will form the groundwork for this mega project. Development will begin in phases and will start earlier than scheduled, in just 5 to 10 years' time. And you will enjoy being at the heart of it all at Sky Everton.

1 NEW WATERFRONT DISTRICTS

When all port activities relocate to Tuas, Tanjong Pagar and Pasir Panjang will open up for unique waterfront live-work-play concepts. Keppel Club will also be redeveloped into a new residential precinct.

2 EXPANDING THE CENTRAL BUSINESS DISTRICT (CBD)

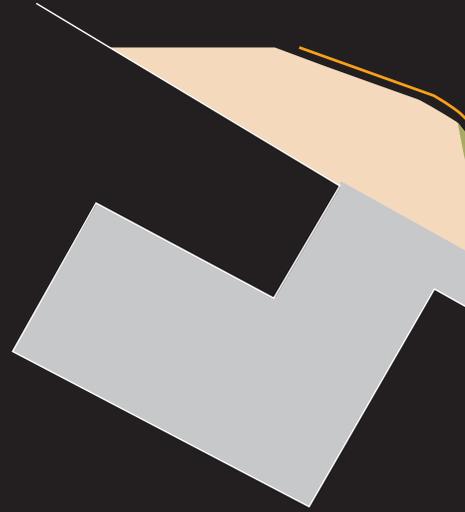
The existing CBD and Marina Bay could be expanded as a growth catalyst and to bring work places closer to home. This could also inject a new energy for more lively areas after office hours.

3 CIRCLE LINE 6 OPENING IN 2025

In 2025, the Circle Line will be completed with the opening of Keppel, Cantonment and Prince Edward Road stations. Commuters will be able to enjoy faster access from areas such as Kent Ridge and Haw Par Villa to the CBD and Marina Bay area.

4 ST JAMES POWER STATION TO BE DEVELOPED INTO AN OFFICE COMPLEX

The national monument, St James Power Station, will be refurbished into an office complex.





5 MAXIMISING WATER RESOURCES

After the success of Marina Bay as our first city reservoir, a new one could be developed for the Greater Southern Waterfront. Canals could also be planned to enhance the waterfront appeal of the area.

7 BRINGING PEOPLE CLOSER TO THE WATER

Taking advantage of beautiful sea views, a scenic continuous waterfront promenade will link places of interest along the Greater Southern Waterfront.

9 PASIR PANJANG POWER STATION TO GO UNDERGROUND

Singapore will build its largest underground substation by 2025, freeing up more than three hectares of land. A commercial development will be built on top of it. The remaining land area will be used for lifestyle and other purposes.

6 DEVELOPMENT OF PULAU BRANI

Anchored to be part of the Southern Gateway for Asia, Pulau Brani will provide exciting opportunities to develop new tourism attractions. A green corridor that links Labrador Park, Berlayer Creek and Mount Faber to Pulau Brani may be created and be connected to Gardens by the Bay and the island-wide green network.

8 CONNECTING NATURE

More parks and eco-corridors could be planned to seamlessly connect from one park to another. The new Pasir Panjang Linear Park will link West Coast Park to Labrador Nature Reserve.

10 NEW PASIR PANJANG LINEAR PARK

The upcoming Pasir Panjang Linear Park will connect West Coast Park to Labrador Nature Reserve, offering park users a glimpse of the Power District up close. Future connections will also link up places of interest from the waterfront to the hilltops, allowing visitors to enjoy a distinctive recreational experience.





CANTONMENT
MRT STATION (U/C)



BY THE CBD BY THE WATERFRONT



RESIDENCES TO THE SOUTH SHALL EXPERIENCE BREATHTAKING VIEWS OF THE DRAMATIC SINGAPORE CITY SKYLINE.

THE SEA BEFORE YOU



RESIDENCES TO THE NORTH SHALL ENJOY
UNINTERRUPTED STUNNING VIEWS OF THE SEA AND BEYOND.

CITY CENTRE LIVING



BE ONE WITH THE VIBRANT CITY AS ALL OF ITS EXCITEMENT
REVOLVES AROUND YOU.

LIVE AMIDST NATURE



ENJOY THE RARITY OF CITY CENTRE LIVING IN
TRANQUIL NATURAL SURROUNDINGS.

RAISING LIFESTYLES UP TO GREATER HEIGHTS



PREPARE FOR NEW LEVELS OF INDULGENCES
THAT SOAR ABOVE THE CITY AND THE SEA.

LUXURY DOWN TO THE SMALLEST OF DETAILS



COME HOME TO WHERE QUALITY FITTINGS AND
FINISHES HEIGHTEN EVERYDAY PLEASURES.

**SKY EVERTON.
BE ON TOP OF THE WORLD.
HAVE THE CITY
AT YOUR DOORSTEP.
INSPIRED TO CREATE A NEW LANDMARK TO
BE APPRECIATED FROM BOTH CITY AND SEA.
DESIGNED TO REFLECT DYNAMIC CITY CENTRE
LIVING AND THE LUSHNESS OF NATURE.**



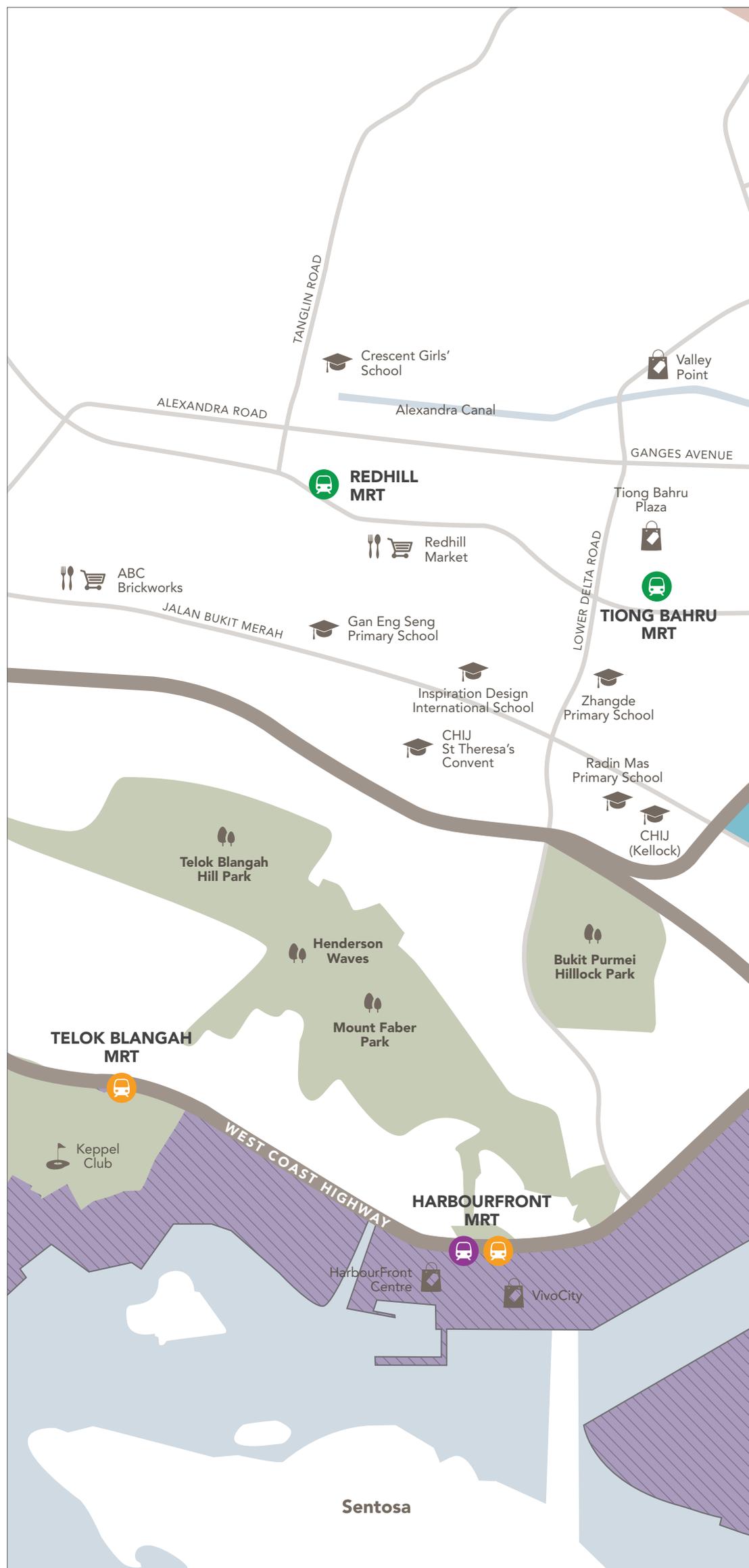


LEGEND

- | | | | |
|---|------------------|---|---|
|  | Retail |  | Future Greater Southern Waterfront District |
|  | Parks |  | Downtown Core |
|  | Dining |  | SGH Medical Hub |
|  | Education |  | Future Development at Marina South |
|  | Work |  | Orchard Belt |
|  | Market | | |
|  | Country Club | | |
|  | East West Line | | |
|  | North South Line | | |
|  | North East Line | | |
|  | Circle Line | | |
|  | Downtown Line | | |

A POSITION OF EXCELLENCE

Enjoy the very best of city centre living where all you want is conveniently within easy reach. Tanjong Pagar Centre, 100 AM and Chinatown are just around the corner. Marina Bay and VivoCity are mere minutes away by car. Discover some of Singapore's best restaurants, cafes and eateries within walking distance. In an enclave surrounded by parks, schools, shops and more, everything you need is right here. What's more, the future Cantonment MRT station at your doorstep will enhance Sky Everton's offering as one of the most accessible and well-connected residences.





2 MINS' WALK TO FUTURE CANTONMENT MRT



IMAGE BY LAND TRANSPORT AUTHORITY, SINGAPORE.

Artist's Impression

3 MINS'
DRIVE TO
CBD



CONNECTED CITY LIVING

MINUTES TO MRT STATIONS

CANTONMENT STATION (U/C)
OUTRAM PARK STATION
TANJONG PAGAR STATION

PRIVILEGE OF CONVENIENCE

100 AM Mall
Icon Village
Marina Bay Sands
Orchard Road
Raffles City
Suntec City
Tanjong Pagar Centre
UOE Downtown

HERITAGE ENCLAVE

Club Street
Duxton Hill
Keong Saik
Tanjong Pagar Railway Station
Shophouses at Blair Road

EXQUISITE DELIGHTS

Bearded Bella
Just Want Coffee
Kith Café Spottiswoode
Nylon Coffee Roasters
Strangers' Reunion
The Lokal
The Populus

REPUTABLE SCHOOLS

Cantonment Primary School
CHIJ (Kellock)
Radin Mas Primary School

INTERNATIONAL SCHOOLS

5 Steps Academy
Asia Pacific School of Business
Fairfield Methodist Church Kindergarten
Inspiration Design International School
Marketing Institute of Singapore
Shichida Kindergarten
Touchstone International Institute

CHILDCARE

Childcare Centre MMI
K12 International Academy
Modern Montessori Pinnacle-Duxton
My First Skool
Star Tots Playgroup
YWCA of Singapore



OUTRAM PARK STATION / TANJONG PAGAR STATION / CANTONMENT PRIMARY SCHOOL



CITY LANDMARK OF WATERFRONT LIVING

Unfolding into the landscape, Sky Everton is a dramatic architectural statement that emanates absolute confidence as it takes pride of place between city and sea. Designed with bold forms with a referential respect to nature, the result is a contemporary sanctuary of tranquility and beauty.





**HIP, HAPPENING
AND LAID BACK**

INNER CITY **TANJONG PAGAR CENTRE**
MARINA BAY
SENTOSA
SINGAPORE RIVER
VIVOCITY

THE HEART OF THE CITY



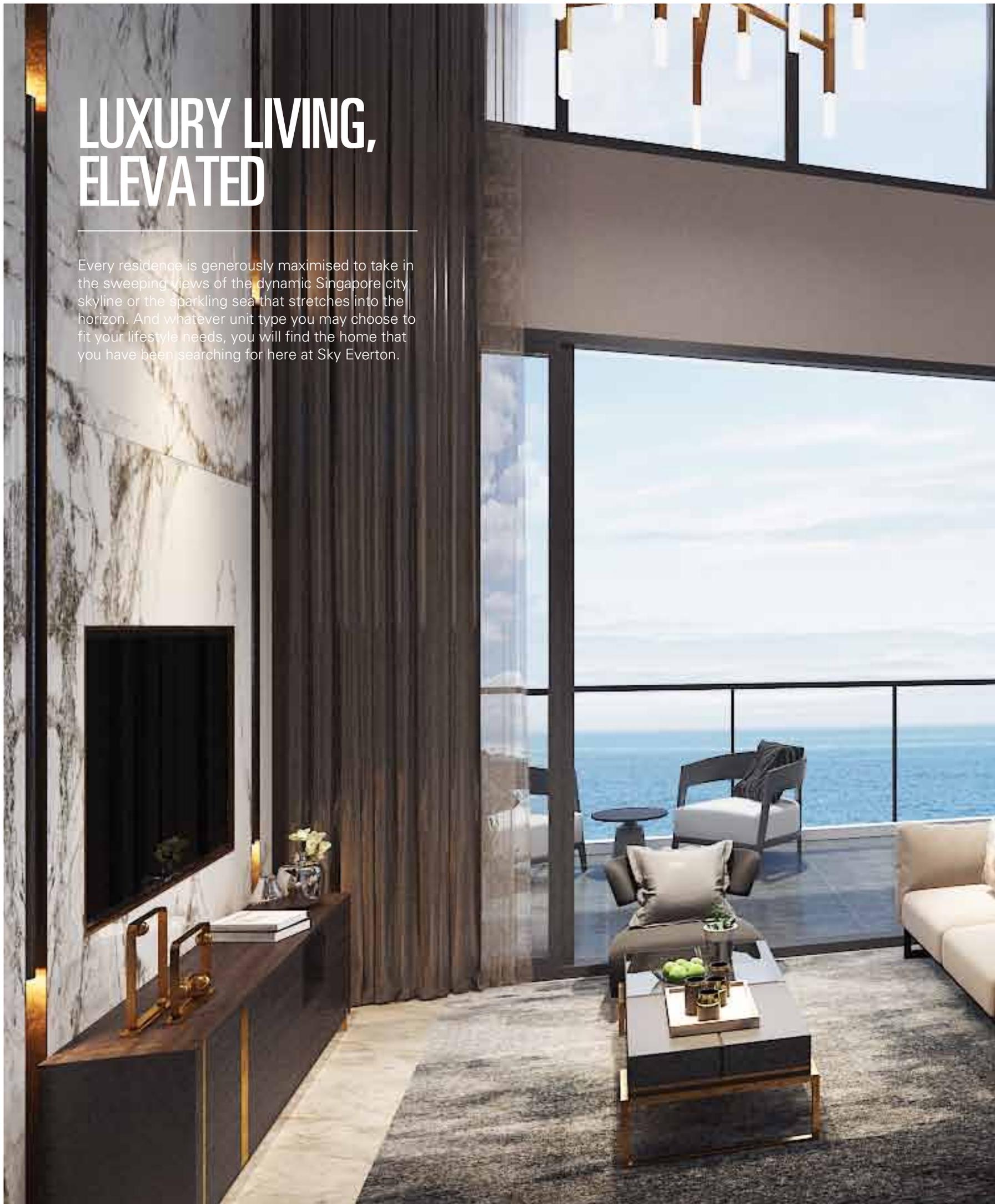
With the CBD literally at your doorstep, let your heart beat with the city as it offers all its wonders and attractions to you. And with the latest Draft Master Plan's proposal to rejuvenate the area, including Marina Bay, with more round-the-clock life and excitement, there is no better place and time to enjoy it all than now at Sky Everton.



DOWNTOWN GALLERY –
LEISURE AND RETAIL EXPERIENCES FOR THE 21ST CENTURY
A one-stop location for people to Look Well, Keep Well and Eat Well.
Downtown Gallery is the choice destination where people can come
and congregate to fulfil their individual needs.

LUXURY LIVING, ELEVATED

Every residence is generously maximised to take in the sweeping views of the dynamic Singapore city skyline or the sparkling sea that stretches into the horizon. And whatever unit type you may choose to fit your lifestyle needs, you will find the home that you have been searching for here at Sky Everton.









HOME OF SOPHISTICATION

Feel the difference when interior spaces are turned into thoughtful spaces to relax, to bond, to thrive and flourish. Here, style and functionality come together to create an exclusive residence that welcomes you home with luxury every time.

QUALITY ALL AROUND

The best from the world over, right into your home. Contemporary designer fittings and exquisite quality finishes adorn every room and corner to befit the understated luxury of your residence at Sky Everton.



UNIT DISTRIBUTION CHART

STOREY / UNIT NO.	1	2	3	4	5	6	7	8	9	10
36	PH1 (01)		PH2 (03)		PH2 (08)			PH1 (10)		
35	B1	C1	D1 (03)	B5	B5	D1 (08)	C1	B1		
34	B1	C1	D1 (03)	B5	B5	D1 (08)	C1	B1		
33	B1	C1	D1 (03)	B5	B5	D1 (08)	C1	B1		
32	B1	C1	D1 (03)	B5	B5	D1 (08)	C1	B1		
31	B1	C1	D1 (03)	B5	B5	D1 (08)	C1	B1		
30	B1	C1	D1 (03)	B5	B5	D1 (08)	C1	B1		
29	B1	C1	D1 (03)	B5	B5	D1 (08)	C1	B1		
28	B1	C1	D1 (03)	B5	B5	D1 (08)	C1	B1		
27	B1	C1	D1 (03)	B5	B5	D1 (08)	C1	B1		
26	B1	C1	D1 (03)	B5	B5	D1 (08)	C1	B1		
25	B1	C1	D1 (03)	B5	B5	D1 (08)	C1	B1		
24	THE SKY CLUB									
23	B2	C2	C4	A2	B4	B4	A2	C4	C2	B2
22	B1	C1	C3	A1	B3	B3	A1	C3	C1	B1
21	B1	C1	C3	A1	B3	B3	A1	C3	C1	B1
20	B1	C1	C3	A1	B3	B3	A1	C3	C1	B1
19	B1	C1	C3	A1	B3	B3	A1	C3	C1	B1
18	B1	C1	C3	A1	B3	B3	A1	C3	C1	B1
17	B1	C1	C3	A1	B3	B3	A1	C3	C1	B1
16	B1	C1	C3	A1	B3	B3	A1	C3	C1	B1
15	B1	C1	C3	A1	B3	B3	A1	C3	C1	B1
14	THE SKY FOREST									
13	A4	B7	C4	A2	B4	B4	A2	C4	B7	A4
12	A3	B6	C3	A1	B3	B3	A1	C3	B6	A3
11	A3	B6	C3	A1	B3	B3	A1	C3	B6	A3
10	A3	B6	C3	A1	B3	B3	A1	C3	B6	A3
9	A3	B6	C3	A1	B3	B3	A1	C3	B6	A3
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7	A3	B6	C3	A1	B3	B3	A1	C3	B6	A3
6	A3	B6	C3	A1	B3	B3	A1	C3	B6	A3
5	THE PIAZZA									
4	CARPARK									
3	CARPARK									
2	CARPARK									
1	CARPARK									
B	CARPARK									

LEGEND

- 1-BEDROOM
- 1-BEDROOM + STUDY
- 2-BEDROOM
- 2-BEDROOM + STUDY
- 3-BEDROOM
- 3-BEDROOM + STUDY
- 4-BEDROOM
- PENTHOUSE

1 - BEDROOM

TYPE A1

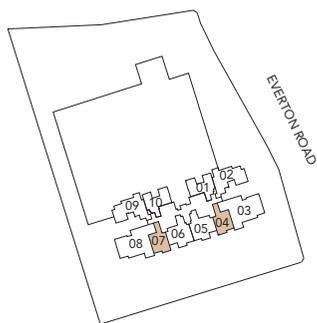
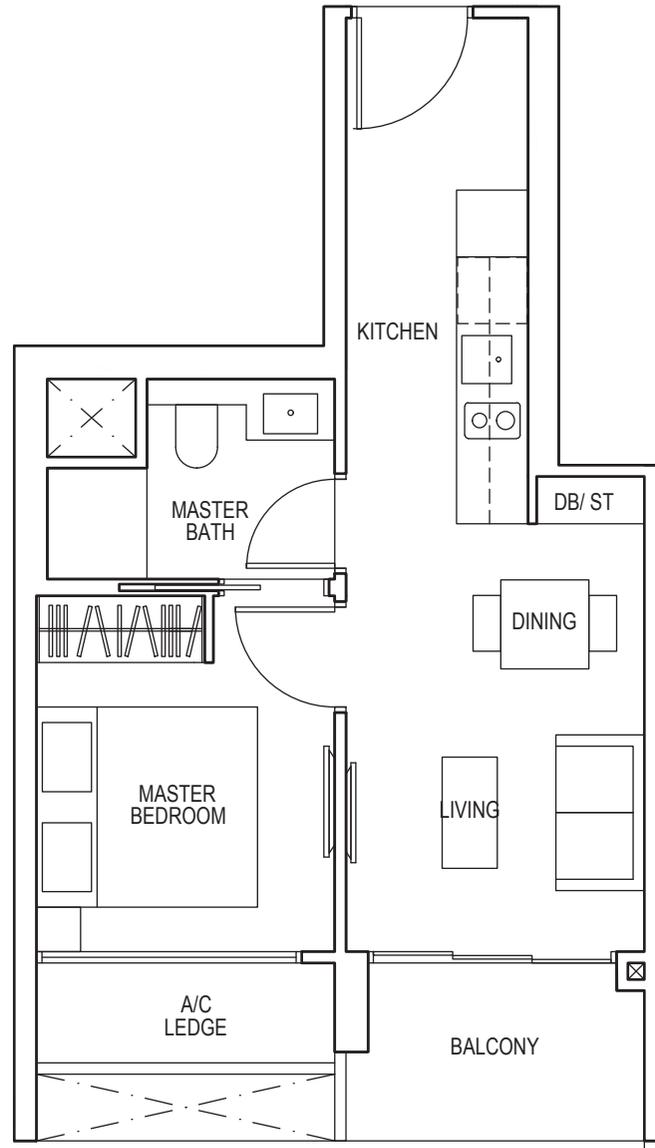
43 sq m / 463 sq ft

#06-04* to #12-04*

#06-07 to #12-07

#15-04* to #22-04*

#15-07 to #22-07



KEY PLAN
Keyplan is not drawn to scale

*Mirror Image



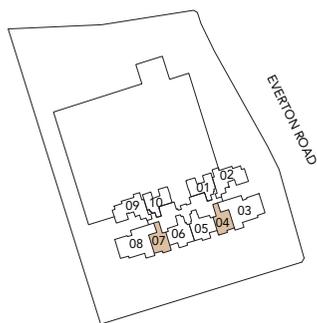
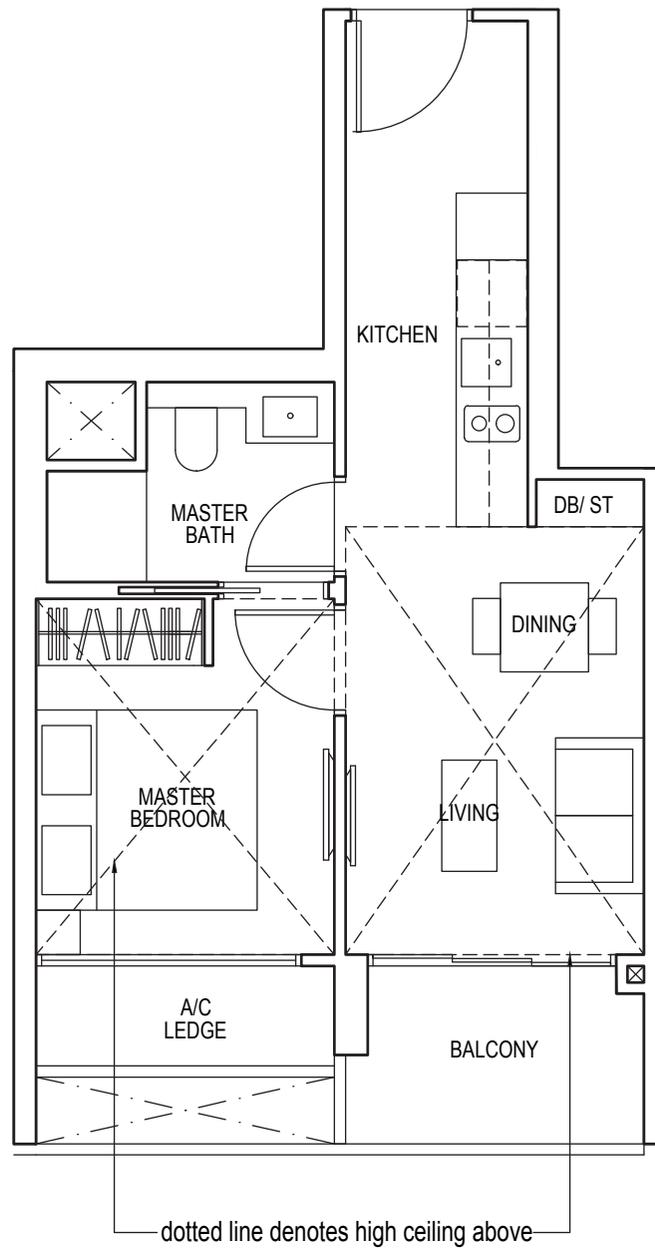
Area includes air-con (A/C) ledge, balcony and strata void area where applicable. Some units are mirror images of the apartment plans shown in the brochure. Please refer to the key plan for orientation. The plans are subject to change as may be approved by relevant authorities. All floor plans are approximate measurements only and are subject to government re-survey. The balcony shall not be enclosed unless with the approved balcony screen. For an illustration of the approved balcony screen, please refer to the diagram annexed hereto as "Annexure 1".

1 - BEDROOM

TYPE A2

55 sq m / 592 sq ft

#13-04*, #13-07, #23-04*, #23-07



*Mirror Image



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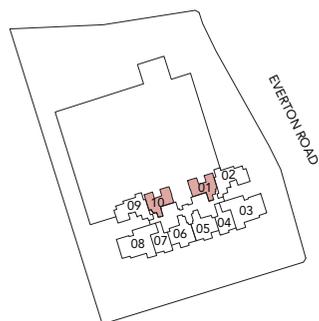
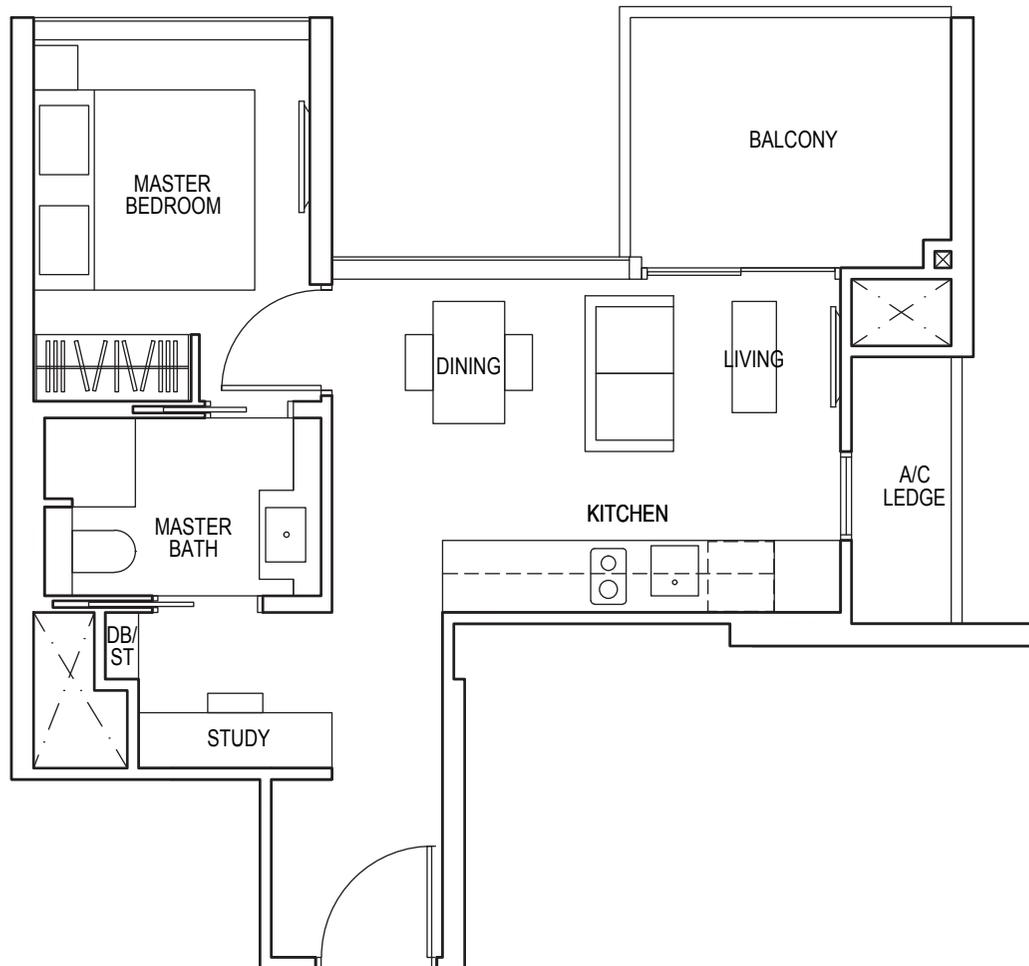
1 - BEDROOM + STUDY

TYPE A3

47 sq m / 506 sq ft

#06-01* to #12-01*

#06-10 to #12-10



*Mirror Image



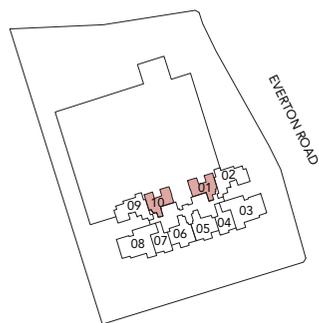
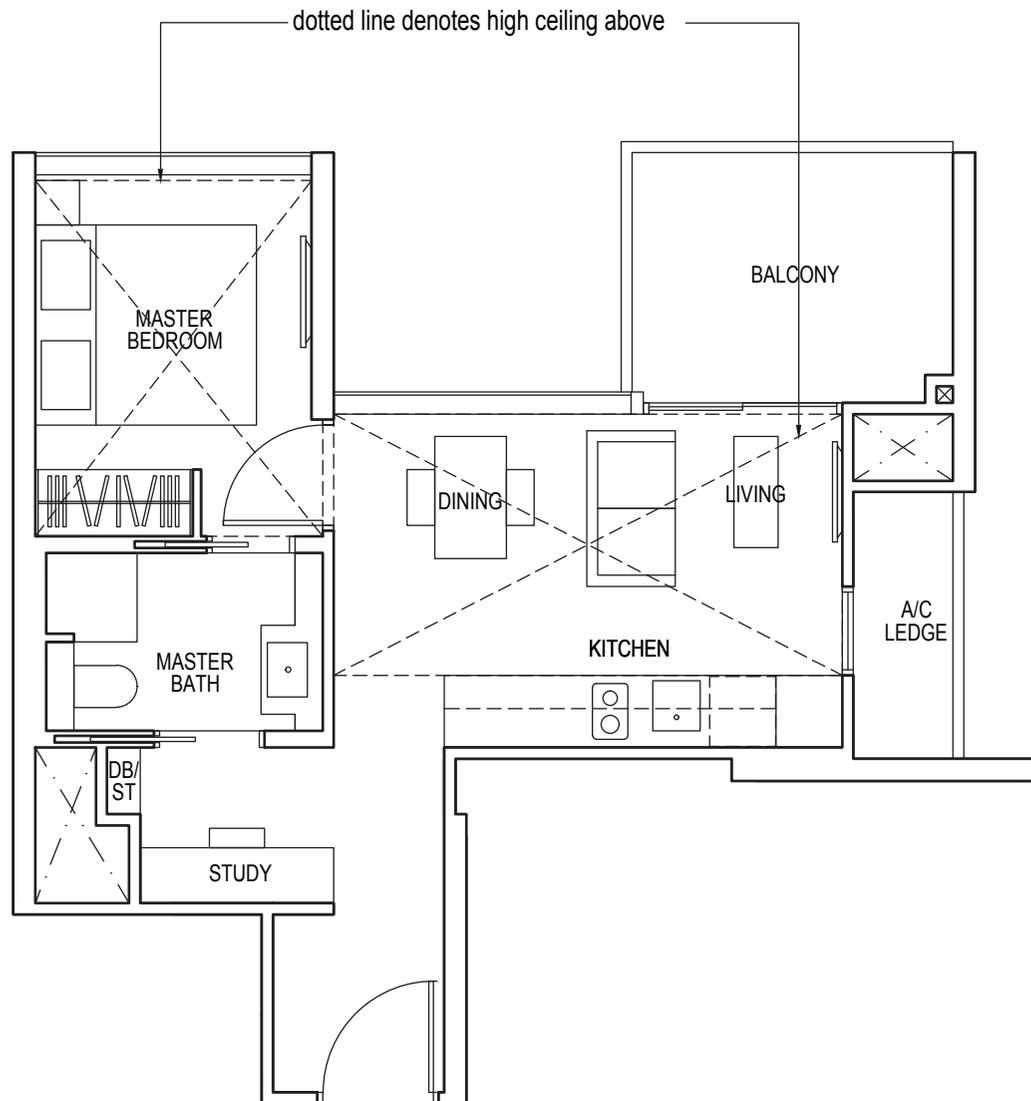
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1 - BEDROOM + STUDY

TYPE A4

59 sq m / 635 sq ft

#13-01*, #13-10



*Mirror Image



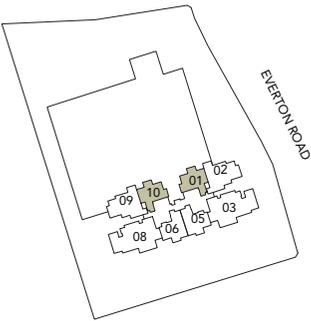
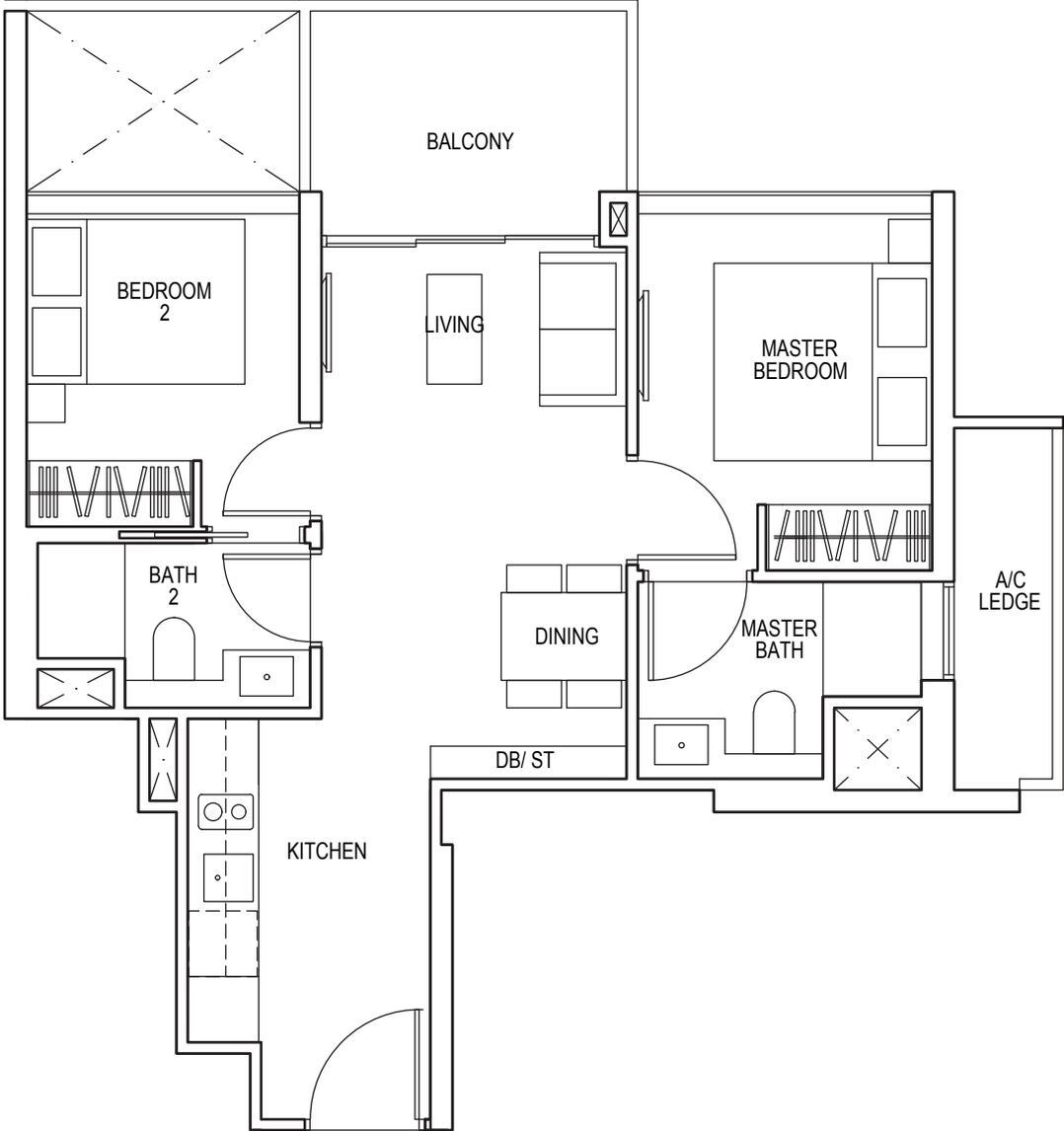
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2 - BEDROOM

TYPE B1

60 sq m / 646 sq ft

- #15-01* to #22-01*
- #15-10 to #22-10
- #25-01* to #35-01*
- #25-10 to #35-10



KEY PLAN
Keyplan is not drawn to scale

*Mirror Image



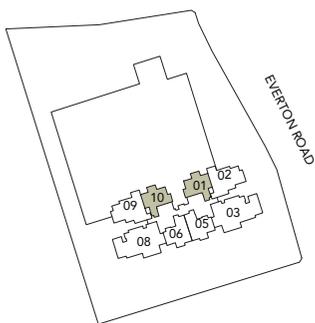
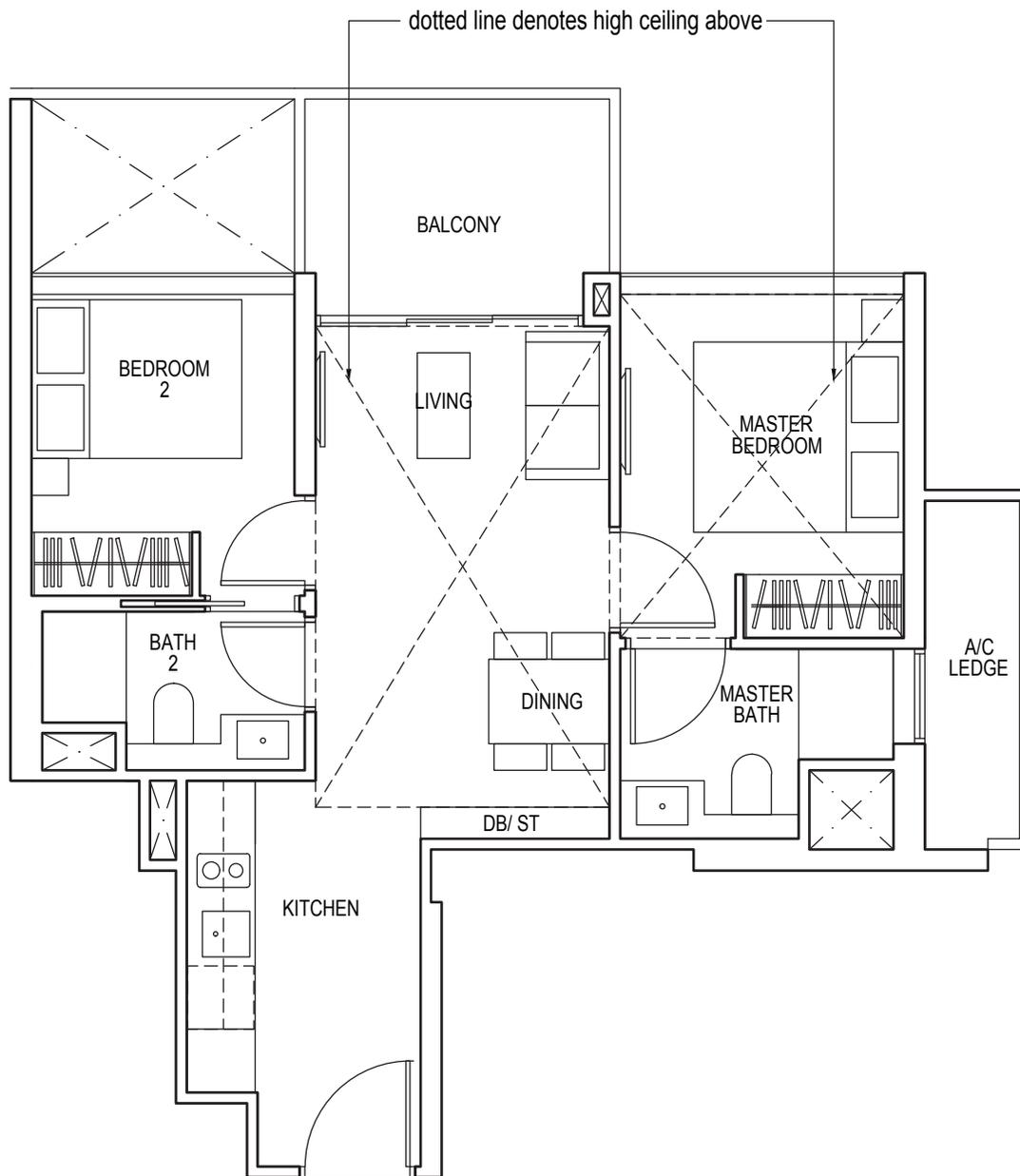
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2 - BEDROOM

TYPE B2

75 sq m / 807 sq ft

#23-01*, #23-10



KEY PLAN
Keyplan is not drawn to scale

*Mirror Image



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2 - BEDROOM

TYPE B3

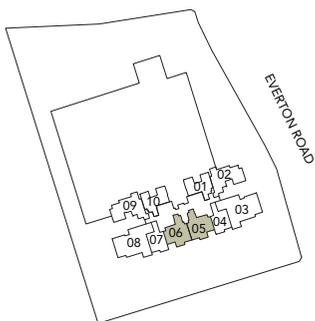
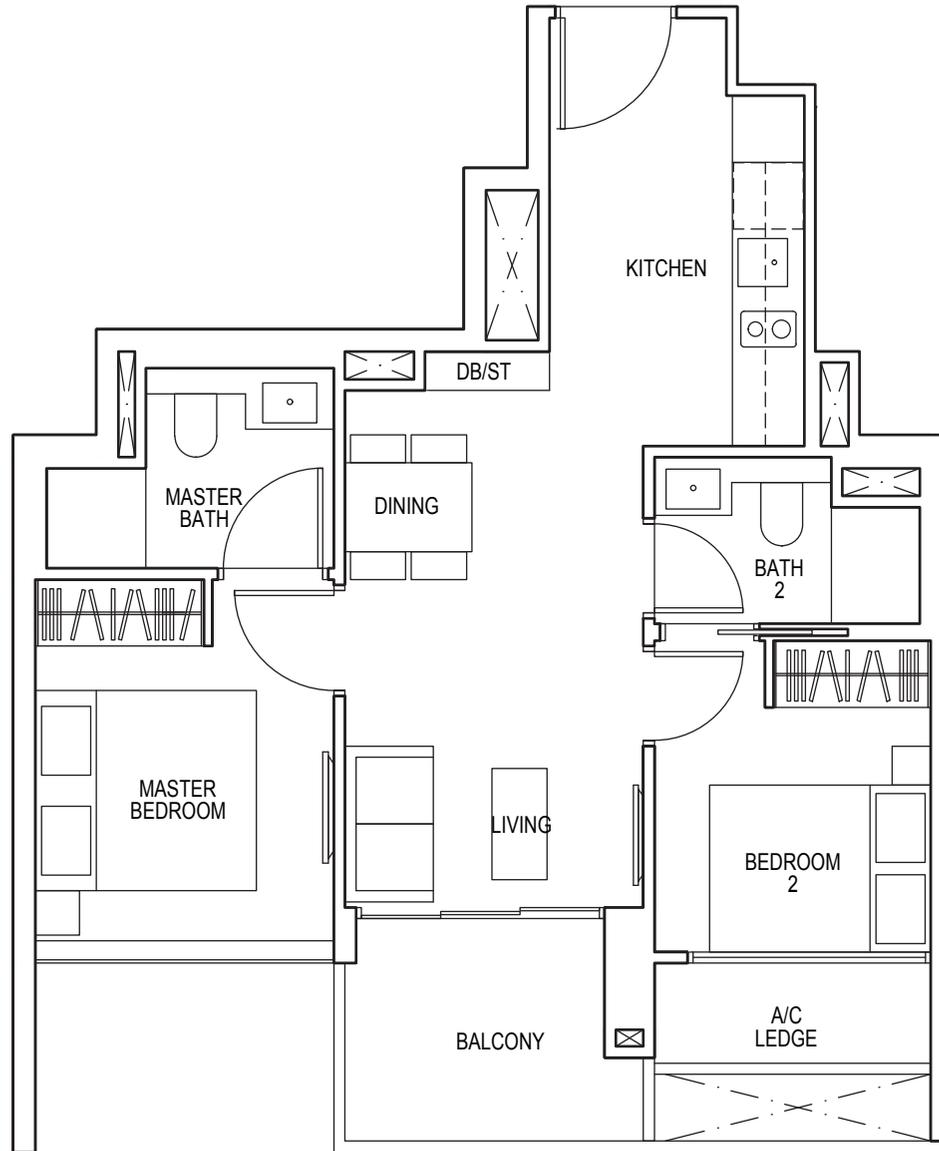
58 sq m / 624 sq ft

#06-05* to #12-05*

#06-06 to #12-06

#15-05* to #22-05*

#15-06 to #22-06



KEY PLAN
Keyplan is not drawn to scale

*Mirror Image



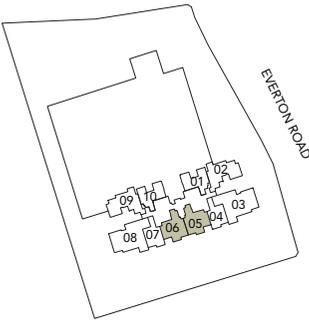
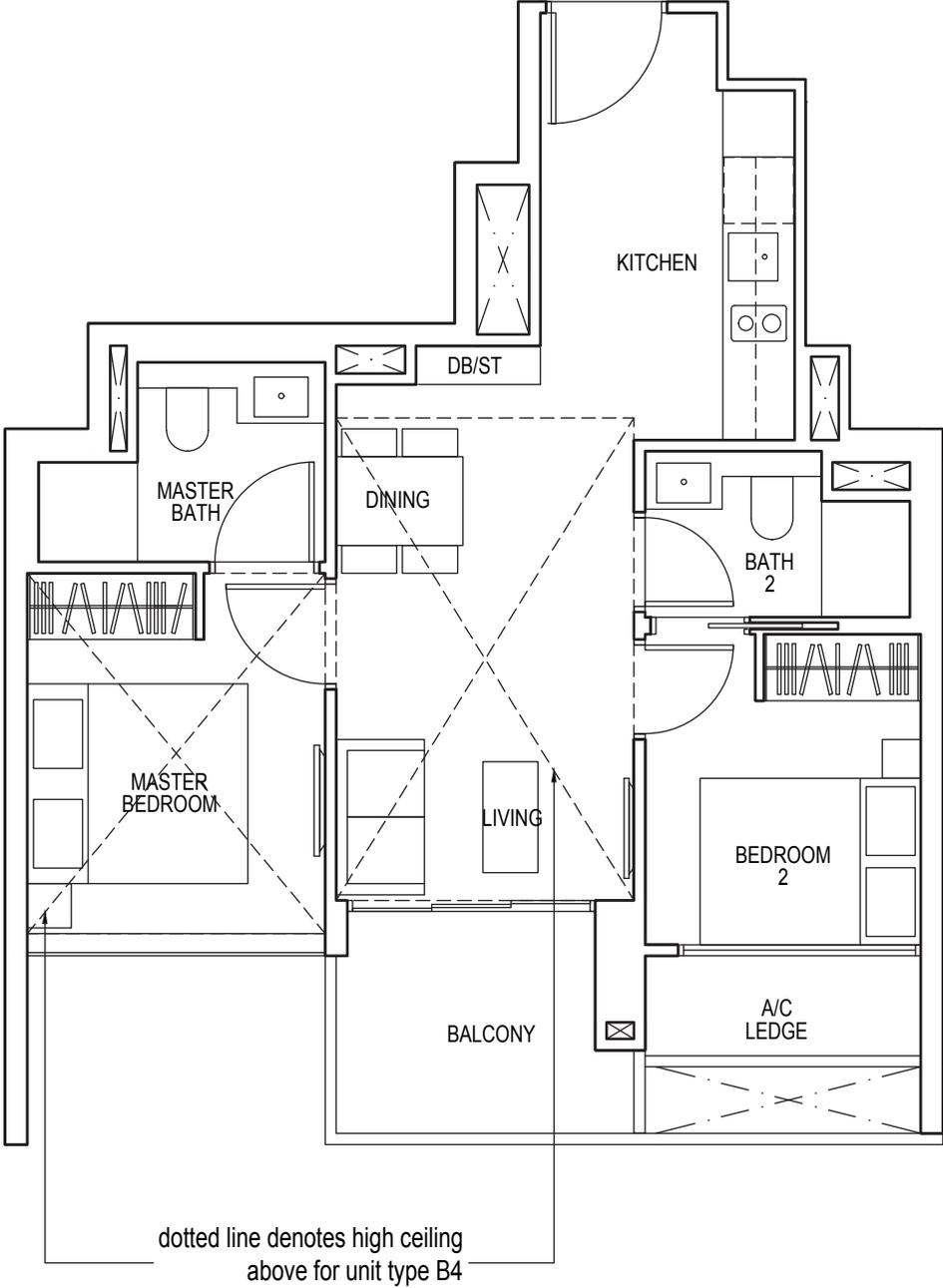
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2 - BEDROOM

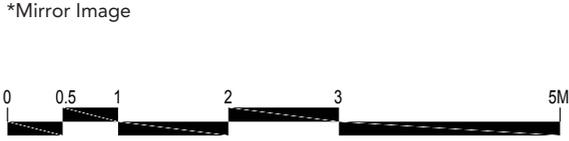
TYPE B4

71 sq m / 764 sq ft

#13-05*, #13-06
 #23-05*, #23-06



N
KEY PLAN
 Keyplan is not drawn to scale



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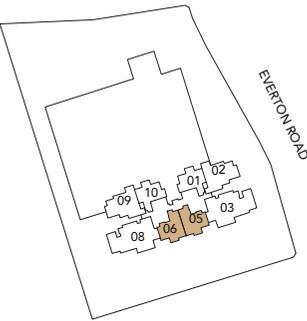
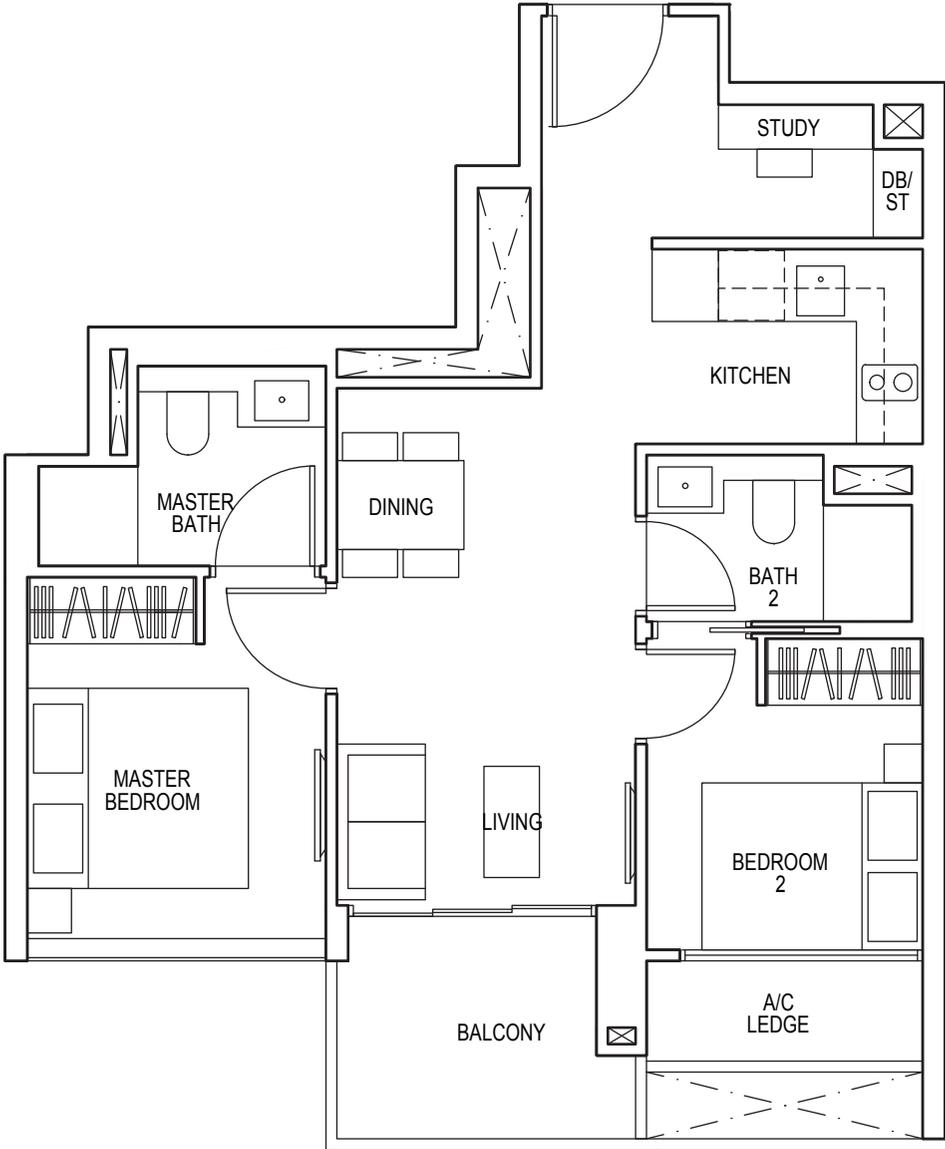
2 - BEDROOM + STUDY

TYPE B5

61 sq m / 657 sq ft

#25-05* to #35-05*

#25-06 to #35-06



KEY PLAN
Keyplan is not drawn to scale

*Mirror Image



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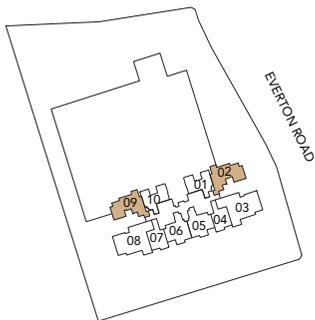
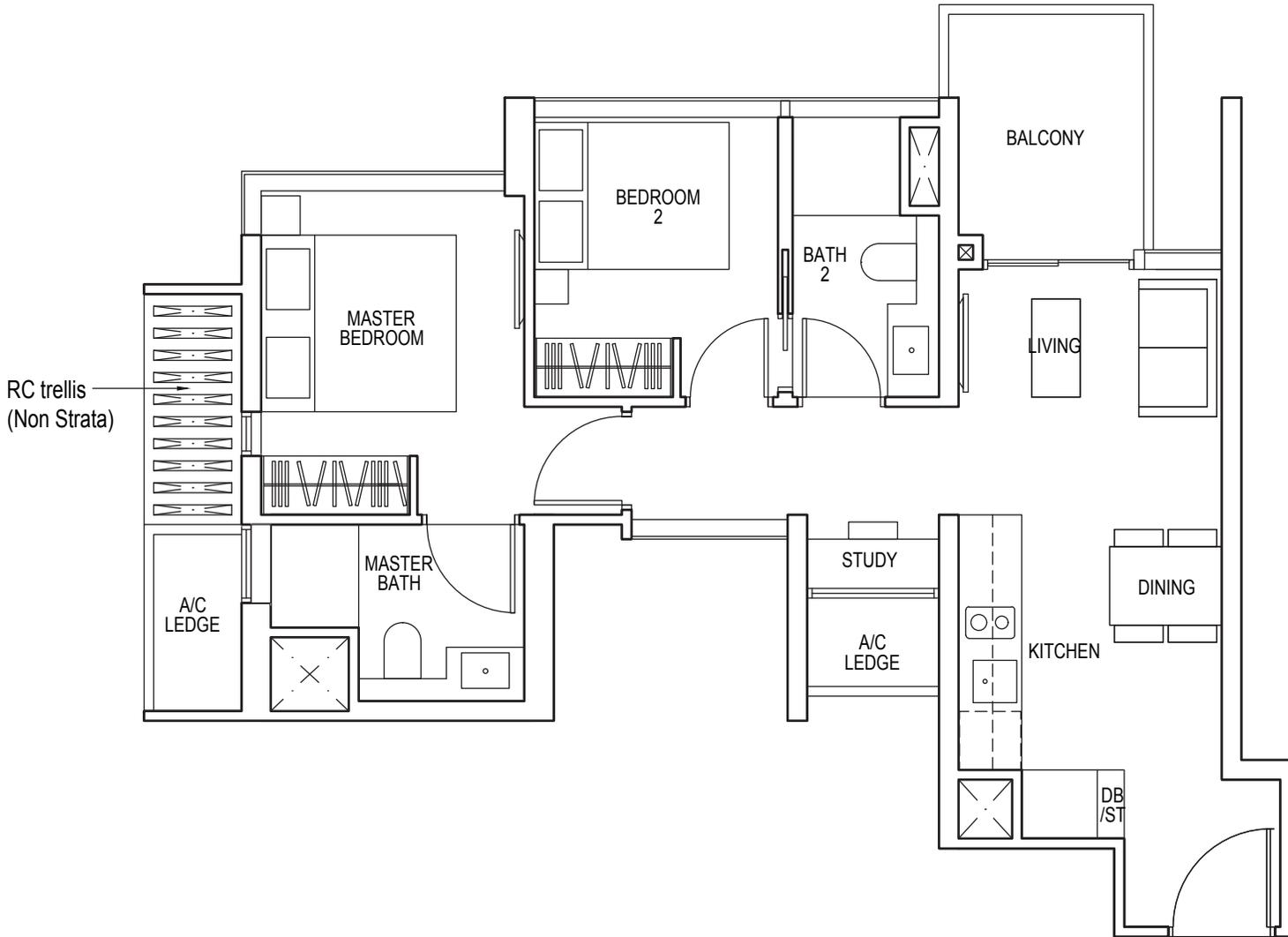
2 - BEDROOM + STUDY

TYPE B6

63 sq m / 678 sq ft

#06-02* to #12-02*

#06-09 to #12-09



KEY PLAN
Keyplan is not drawn to scale

*Mirror Image



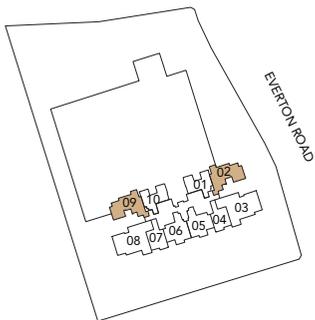
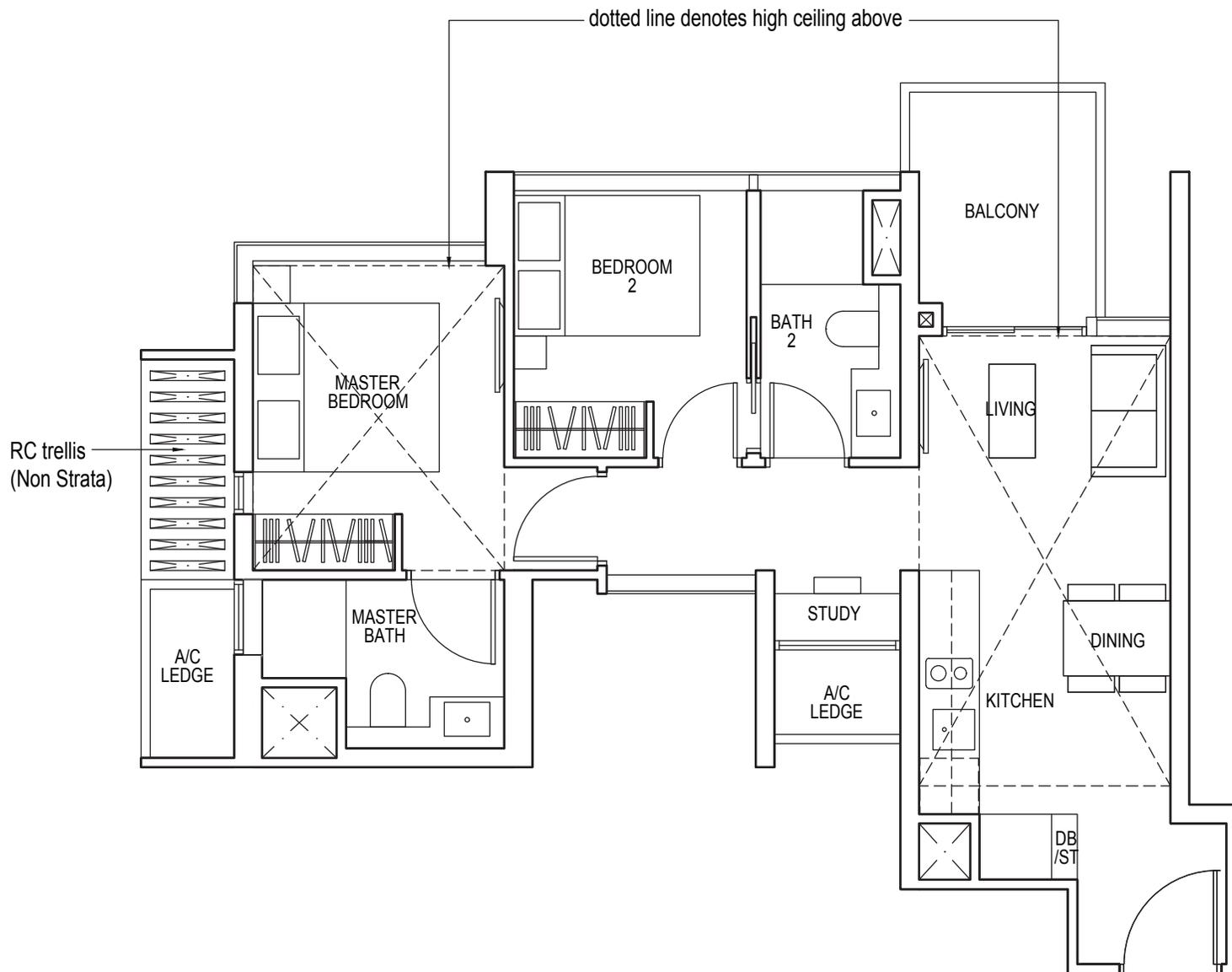
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2 - BEDROOM + STUDY

TYPE B7

78 sq m / 840 sq ft

#13-02*, #13-09



*Mirror Image



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3 - BEDROOM

TYPE C1

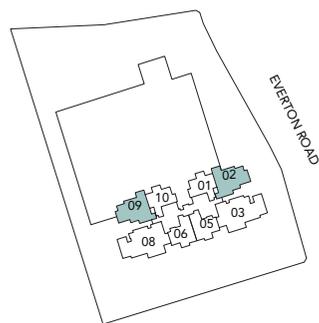
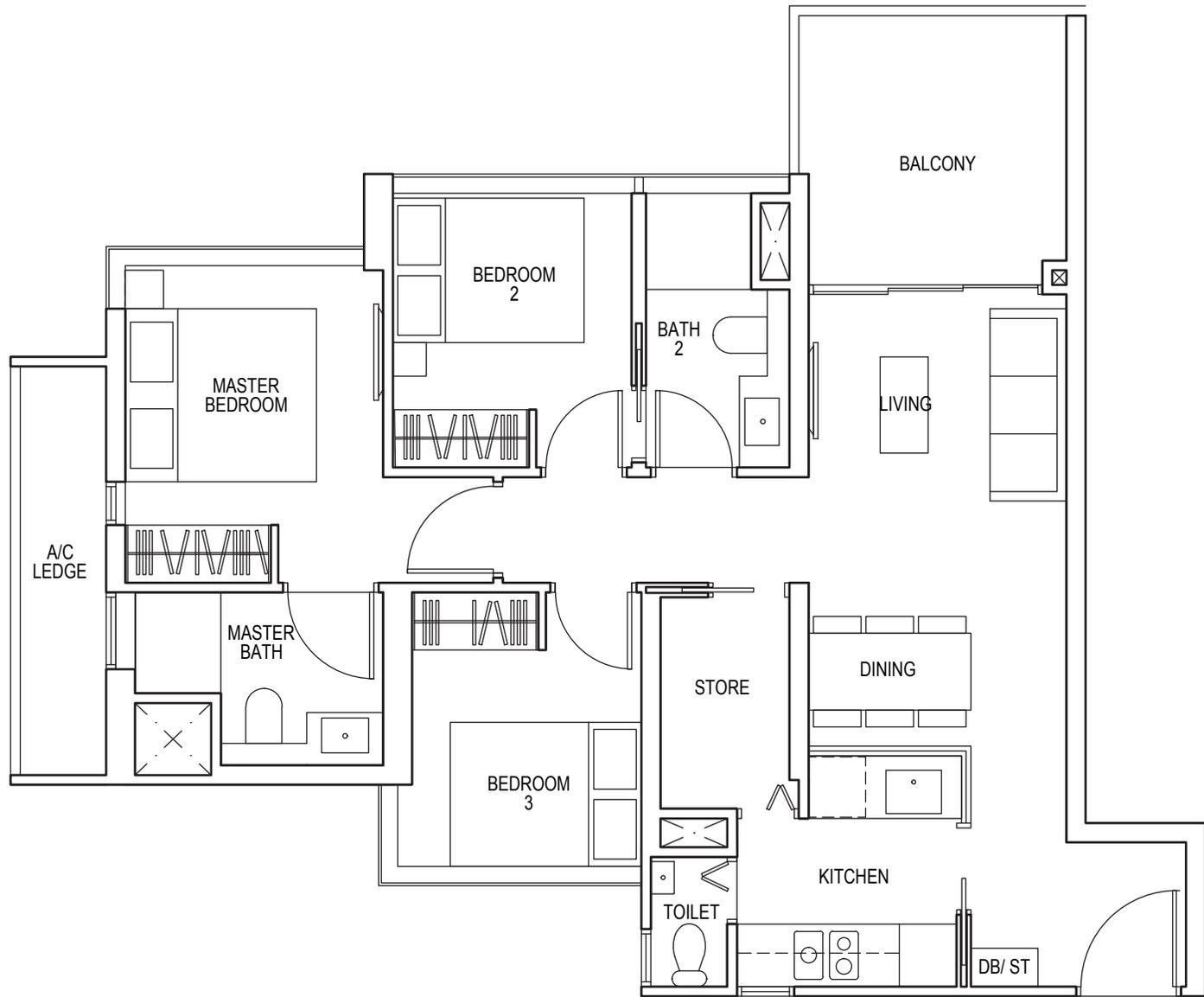
85 sq m / 915 sq ft

#15-02* to #22-02*

#15-09 to #22-09

#25-02* to #35-02*

#25-09 to #35-09



*Mirror Image



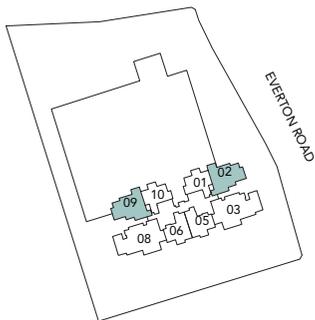
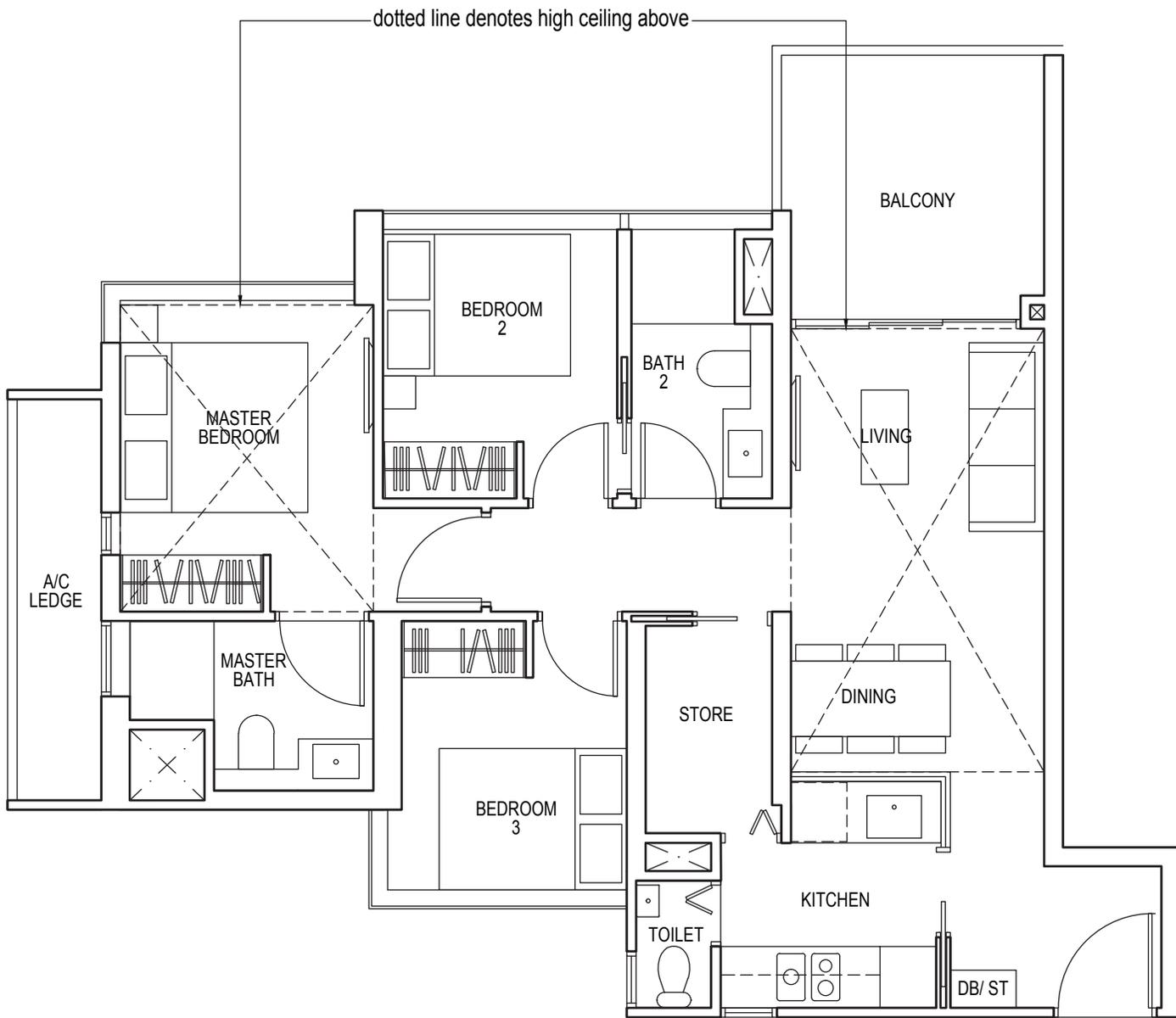
Area includes air-con (A/C) ledge, balcony and strata void area where applicable. Some units are mirror images of the apartment plans shown in the brochure. Please refer to the key plan for orientation. The plans are subject to change as may be approved by relevant authorities. All floor plans are approximate measurements only and are subject to government re-survey. The balcony shall not be enclosed unless with the approved balcony screen. For an illustration of the approved balcony screen, please refer to the diagram annexed hereto as "Annexure 1".

3 - BEDROOM

TYPE C2

99 sq m / 1066 sq ft

#23-02*, #23-09



*Mirror Image



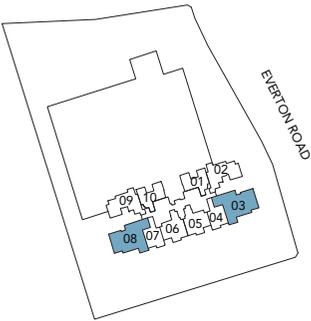
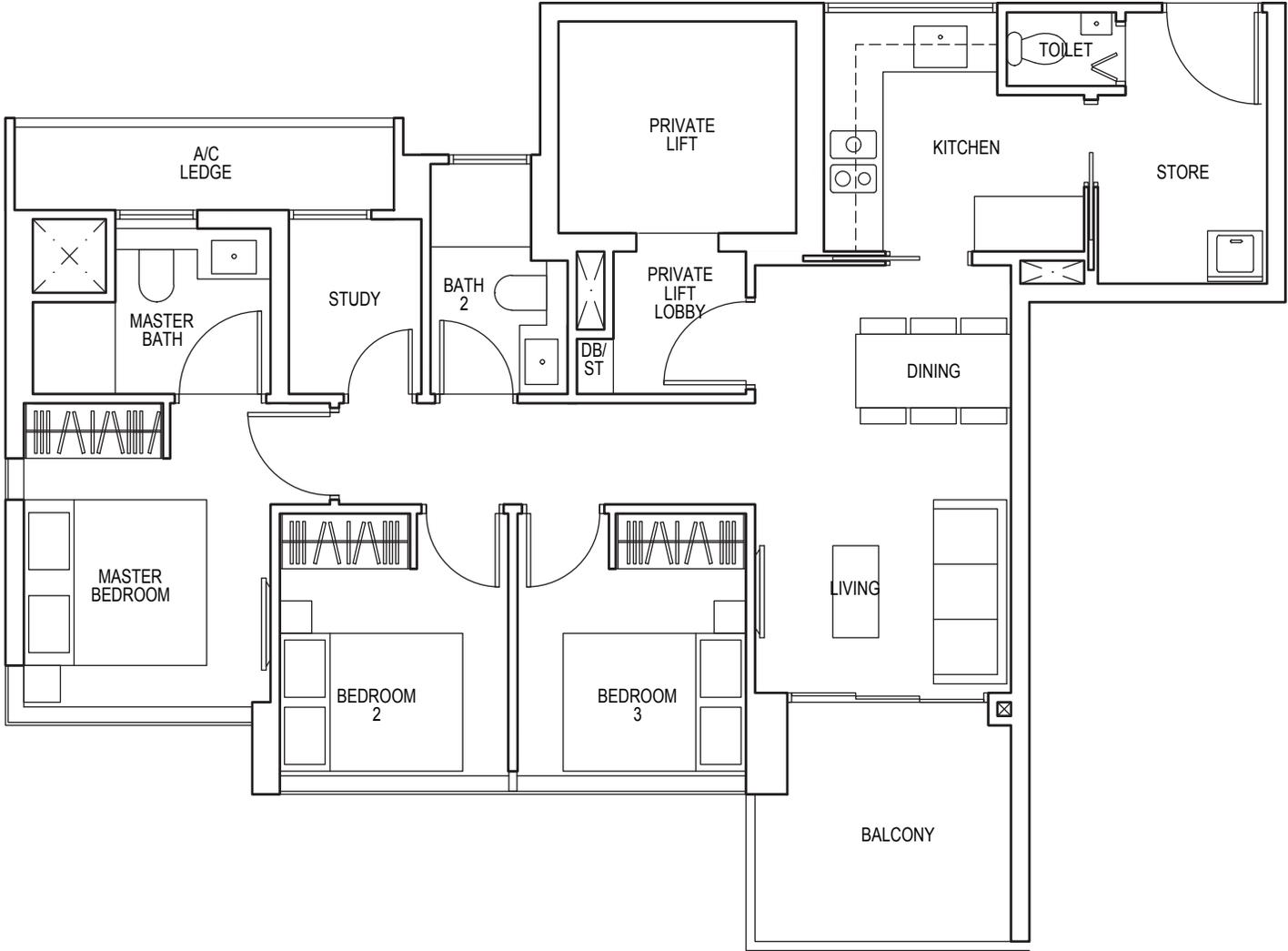
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3 - BEDROOM + STUDY

TYPE C3

89 sq m / 958 sq ft

- #06-03* to #12-03*
- #06-08 to #12-08
- #15-03* to #22-03*
- #15-08 to #22-08



KEY PLAN
Keyplan is not drawn to scale

*Mirror Image



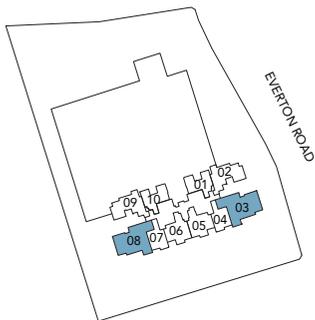
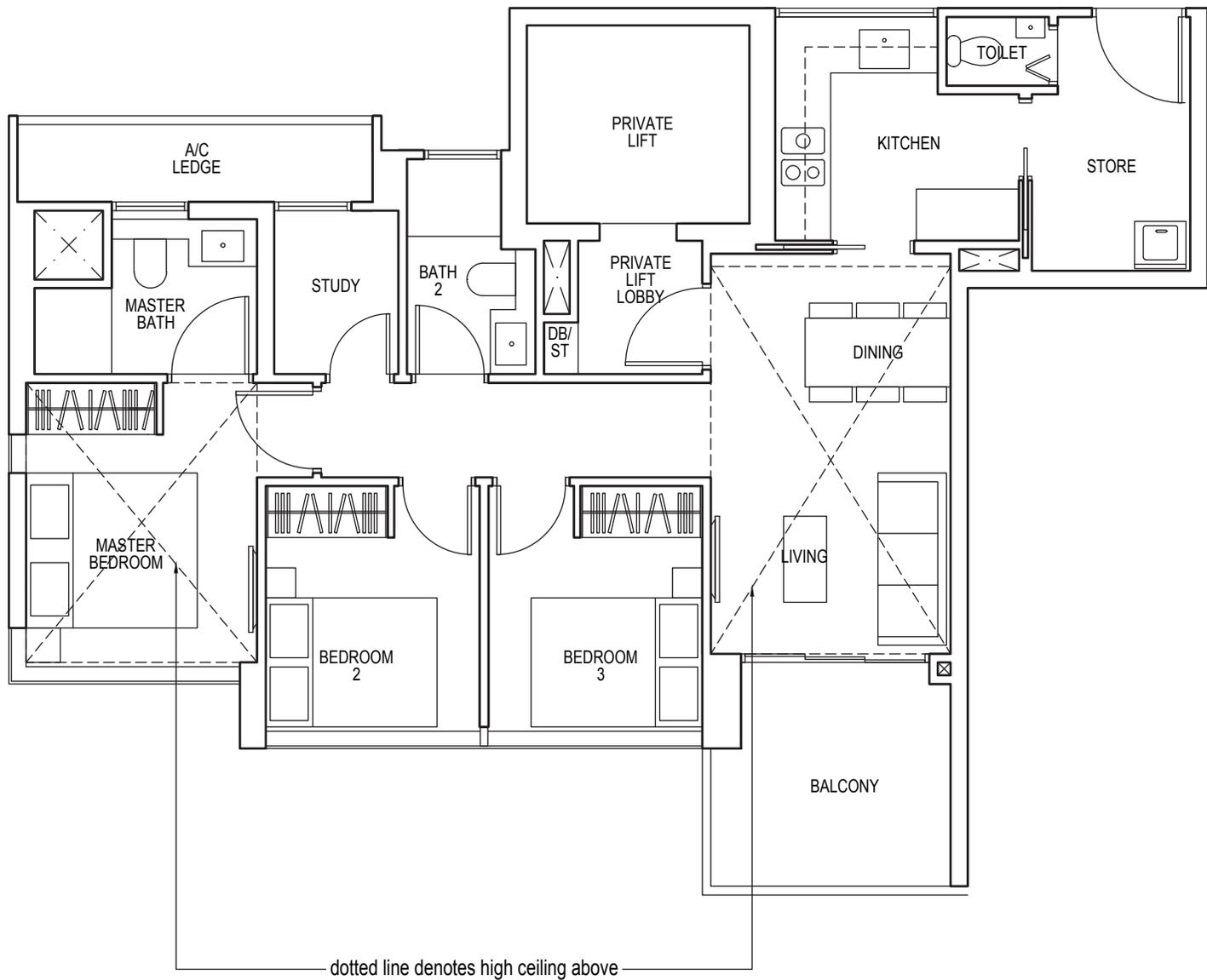
Area includes air-con (A/C) ledge, balcony and strata void area where applicable. Some units are mirror images of the apartment plans shown in the brochure. Please refer to the key plan for orientation. The plans are subject to change as may be approved by relevant authorities. All floor plans are approximate measurements only and are subject to government re-survey. The balcony shall not be enclosed unless with the approved balcony screen. For an illustration of the approved balcony screen, please refer to the diagram annexed hereto as "Annexure 1".

3 - BEDROOM + STUDY

TYPE C4

103 sq m / 1109 sq ft

#13-03*, #13-08, #23-03*, #23-08



KEY PLAN
Keyplan is not drawn to scale

*Mirror Image



Area includes air-con (A/C) ledge, balcony and strata void area where applicable. Some units are mirror images of the apartment plans shown in the brochure. Please refer to the key plan for orientation. The plans are subject to change as may be approved by relevant authorities. All floor plans are approximate measurements only and are subject to government re-survey. The balcony shall not be enclosed unless with the approved balcony screen. For an illustration of the approved balcony screen, please refer to the diagram annexed hereto as "Annexure 1".

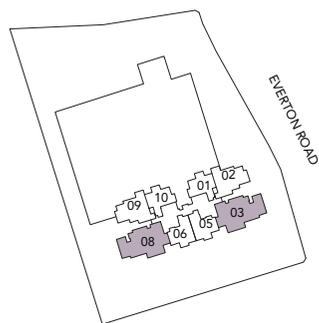
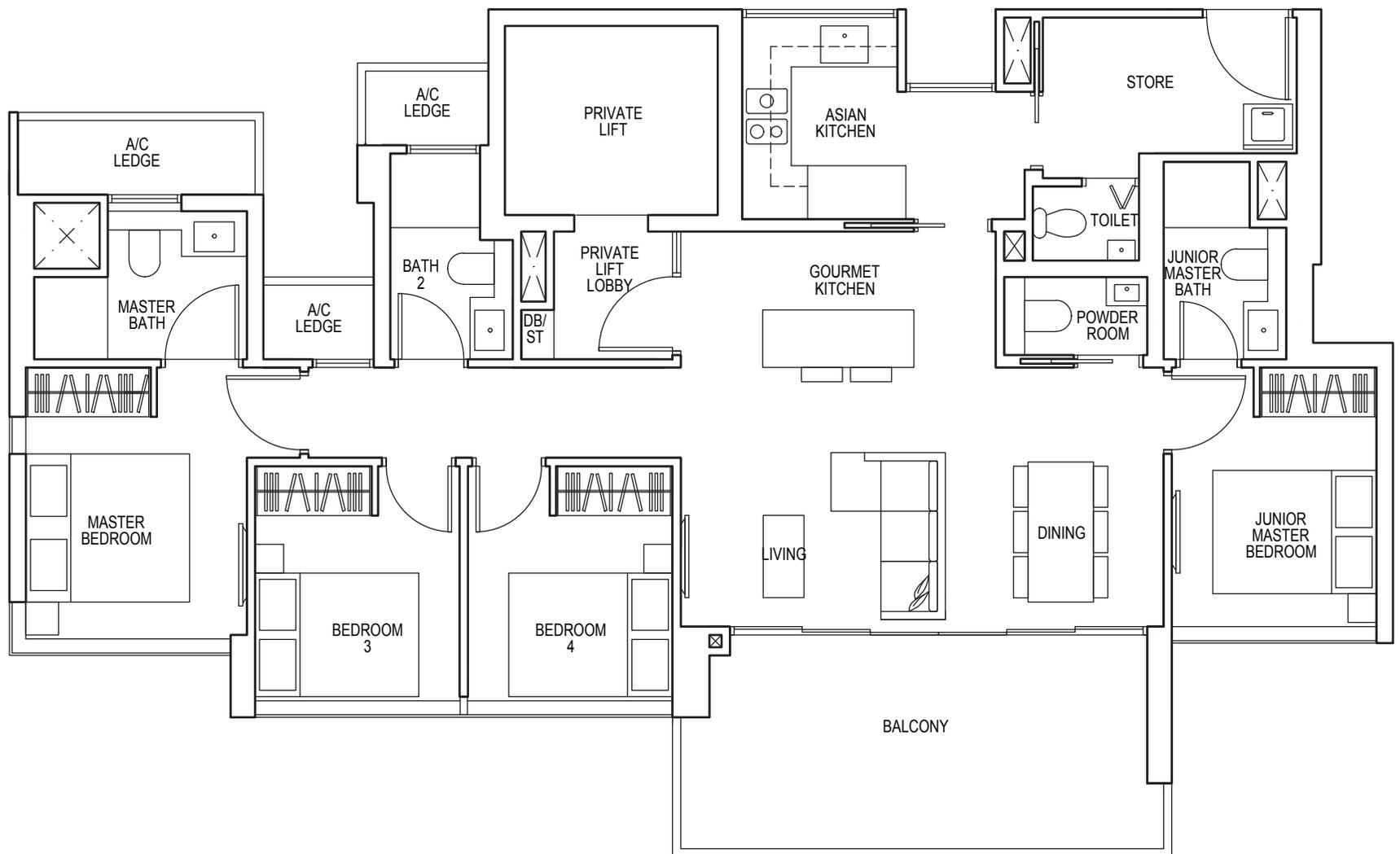
4 - BEDROOM

TYPE D1

125 sq m / 1346 sq ft

#25-03* to #35-03*

#25-08 to #35-08



*Mirror Image



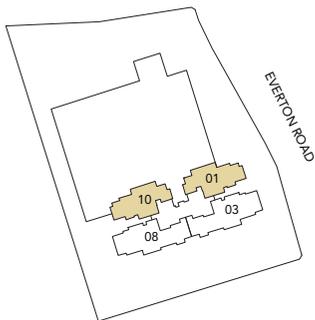
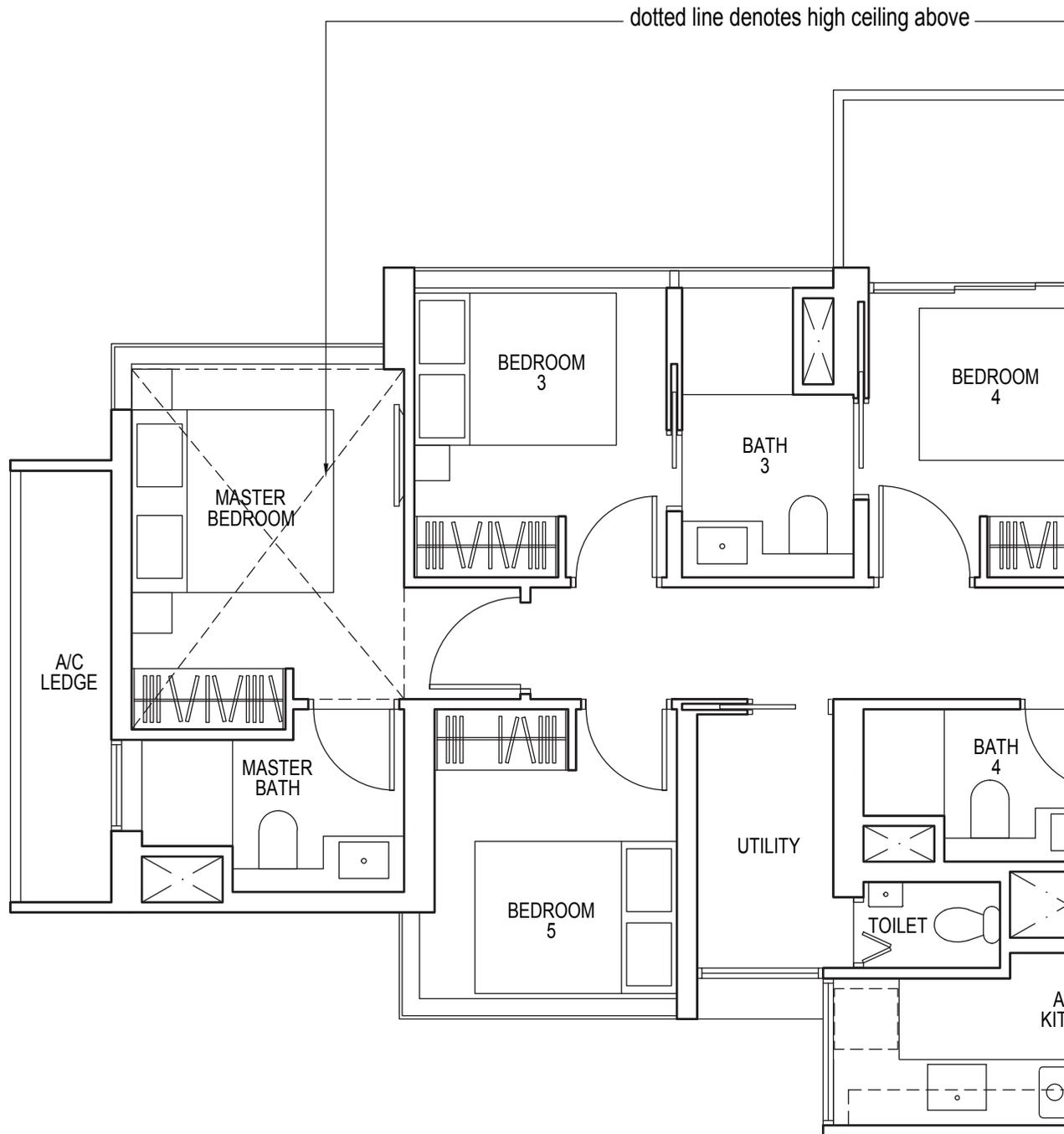
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5 - BEDROOM

TYPE PH1

169 sq m / 1819 sq ft

#36-01*, #36-10



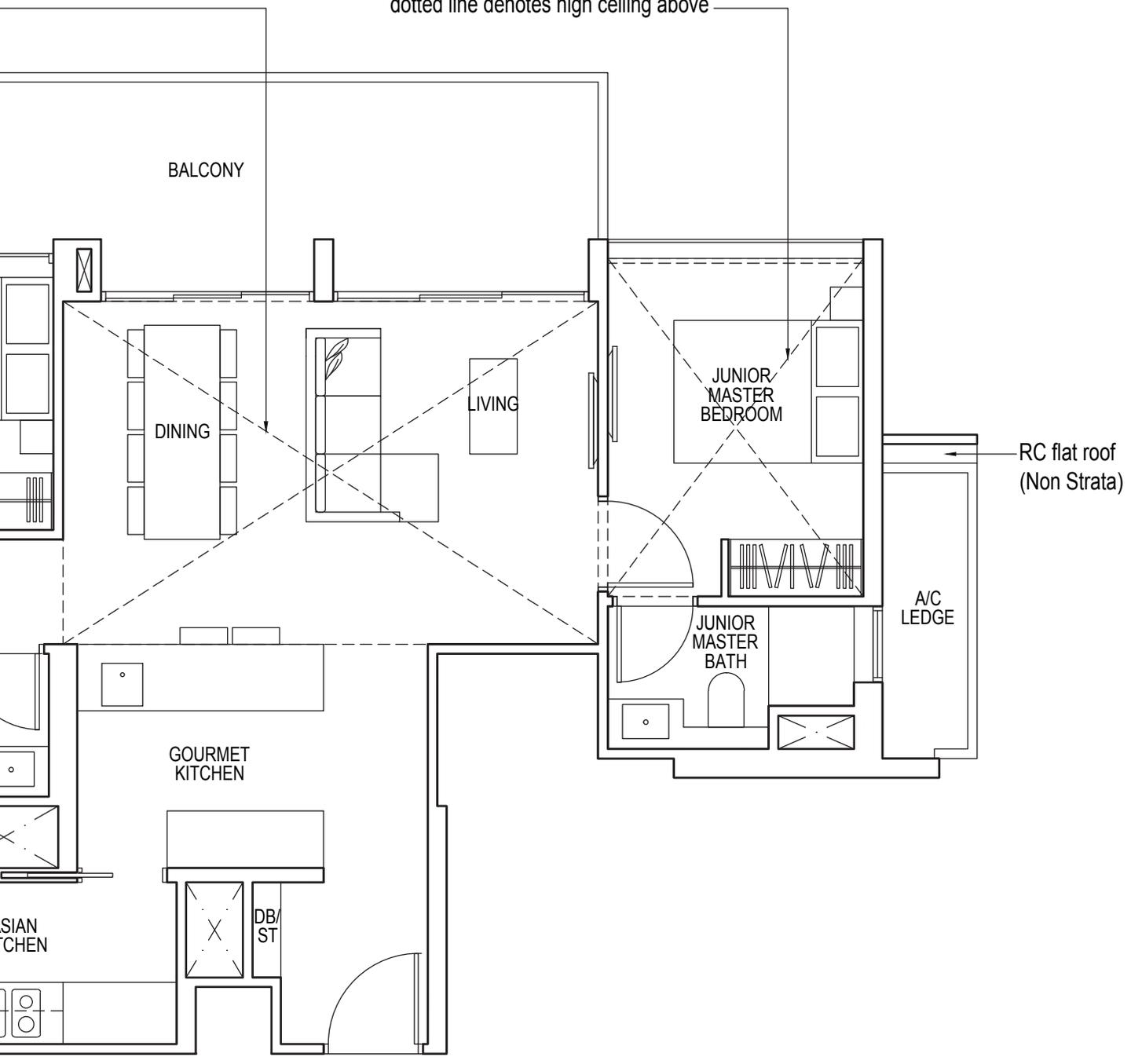
KEY PLAN
Keyplan is not drawn to scale

*Mirror Image



Area includes air-con (A/C) ledge, balcony and strata void area where applicable. Some units are mirror images of the apartment plans shown in the brochure. Please refer to the key plan for orientation. The plans are subject to change as may be approved by relevant authorities. All floor plans are approximate measurements only and are subject to government re-survey. The balcony shall not be enclosed unless with the approved balcony screen. For an illustration of the approved balcony screen, please refer to the diagram annexed hereto as "Annexure 1".

dotted line denotes high ceiling above

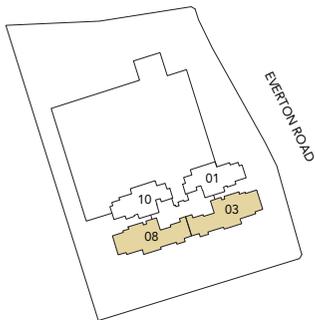
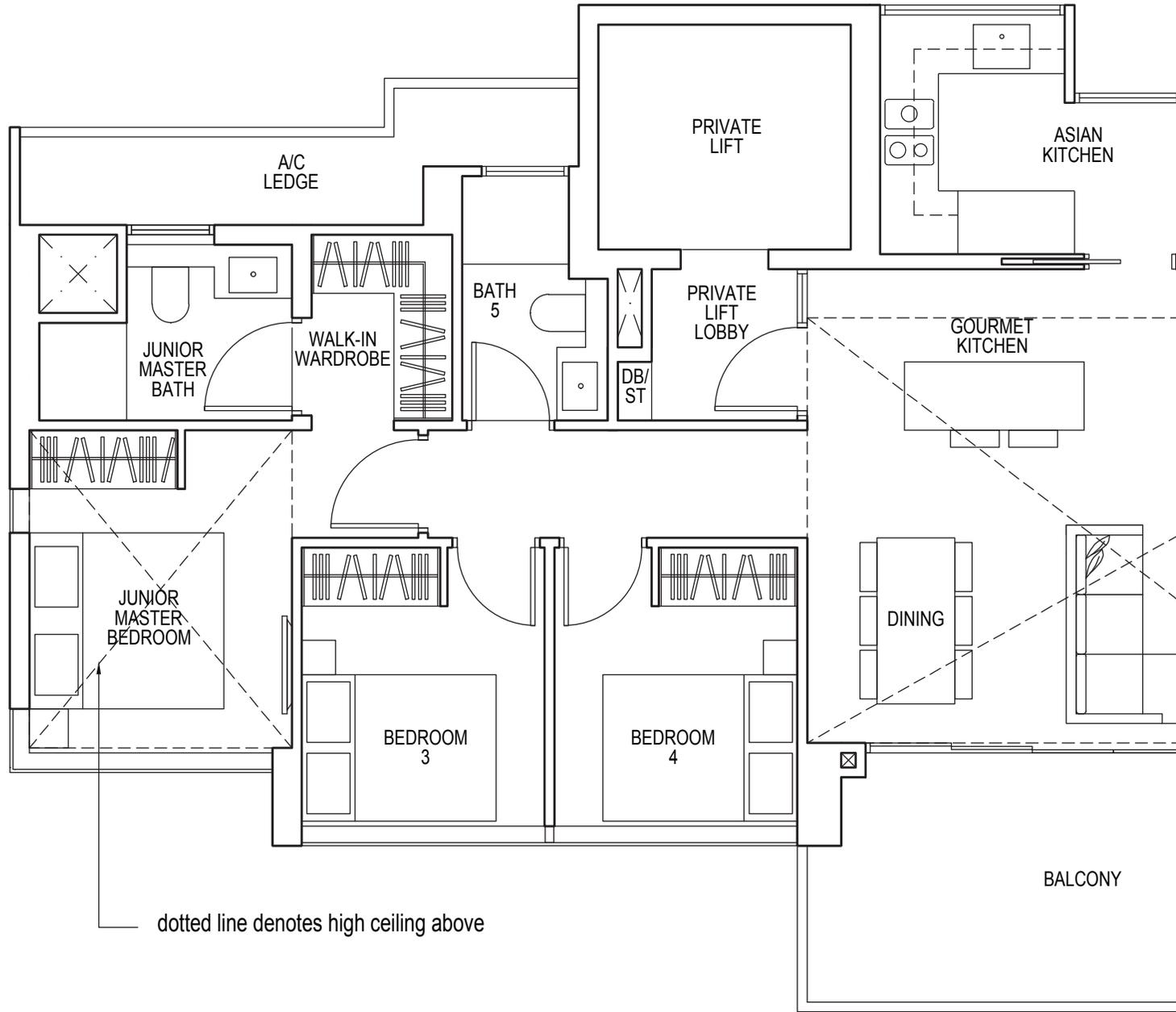


6 - BEDROOM

TYPE PH2

207 sq m / 2228 sq ft

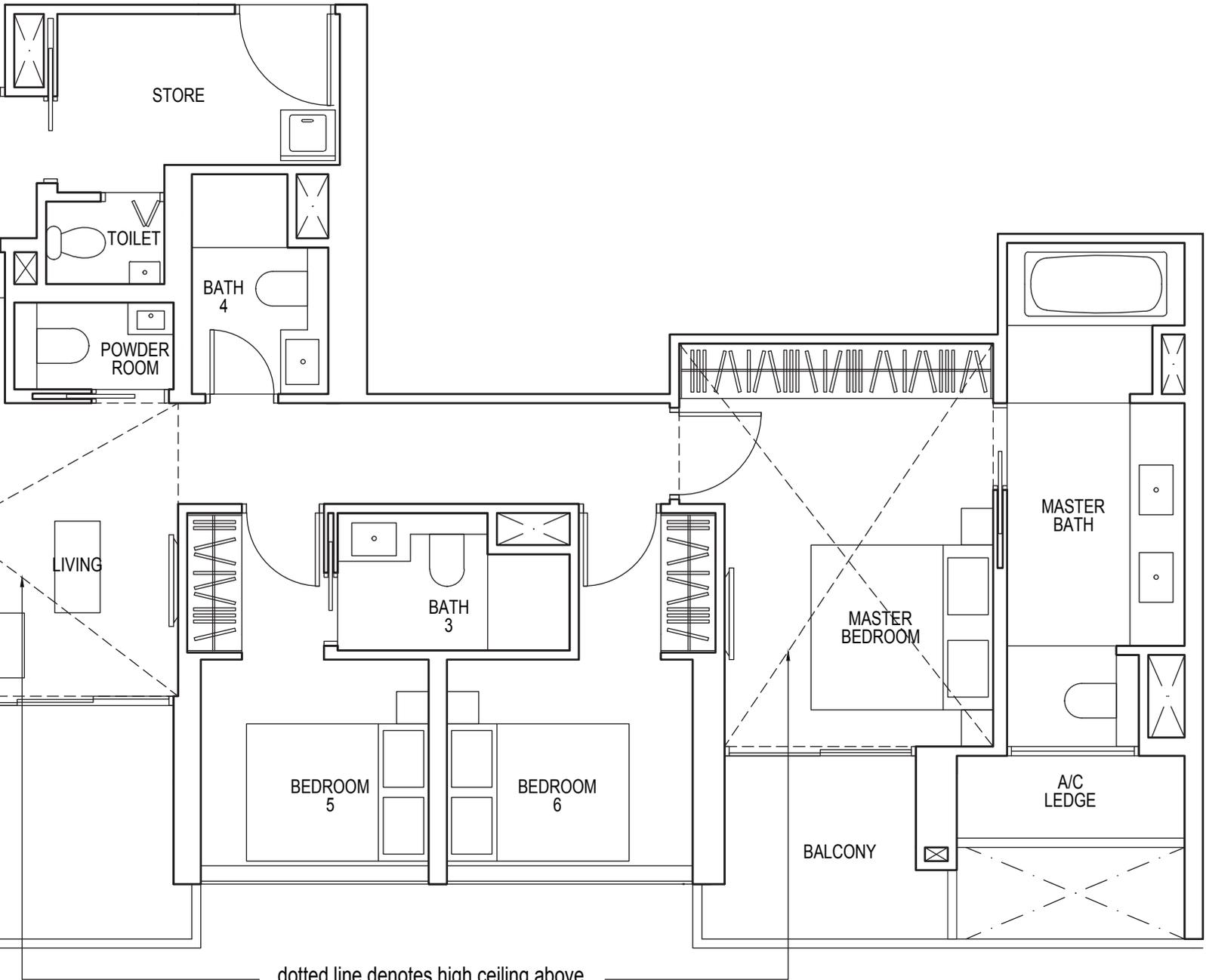
#36-03*, #36-08



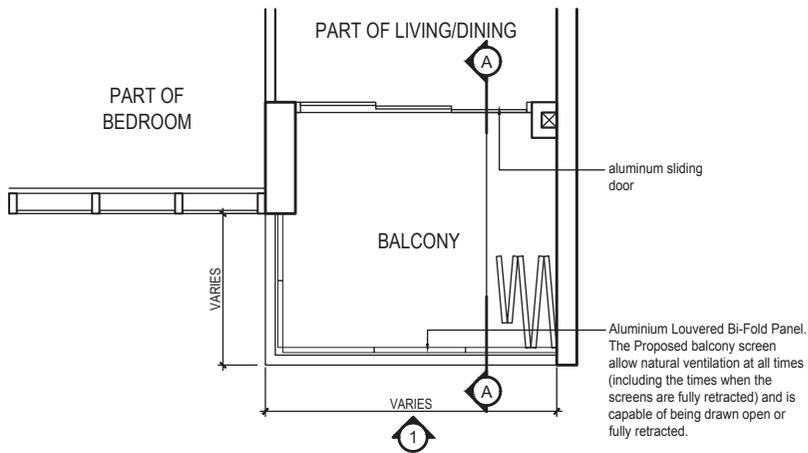
*Mirror Image



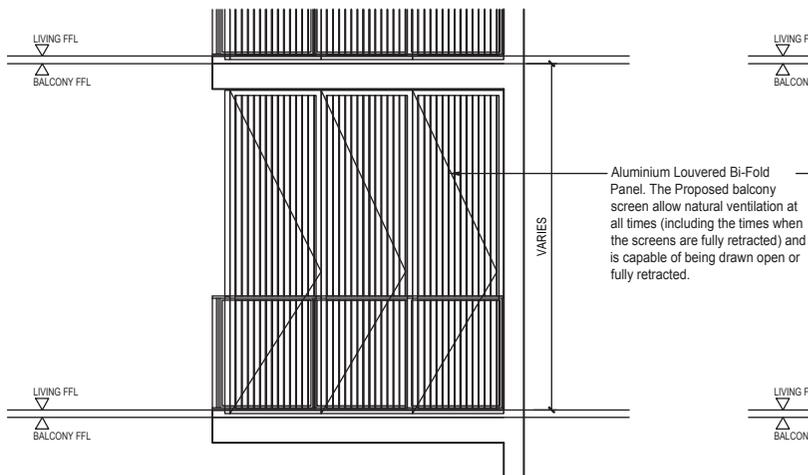
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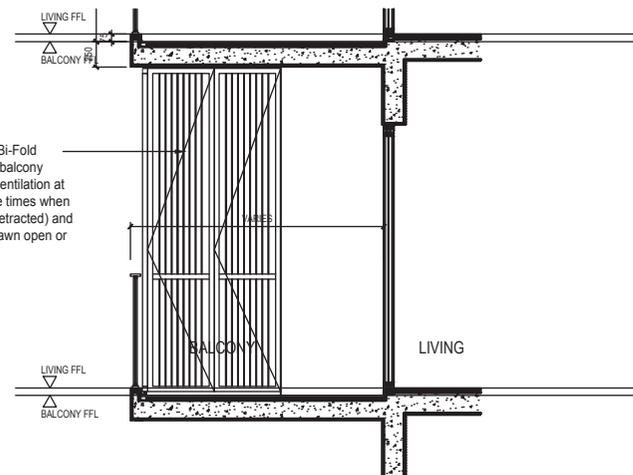
ANNEXURE 1 - BALCONY SCREENING DETAIL



TYPICAL RETRACTABLE BALCONY SCREEN - PLAN



TYPICAL RETRACTABLE BALCONY SCREEN - ELEVATION



TYPICAL BALCONY SCREEN SECTION

NOTE:

- 1.) THE BALCONY SCREENS ARE TO ALLOW NATURAL VENTILATION WITHIN THE BALCONY AT ALL TIMES AND THE PROPOSED BALCONY SCREEN IS CAPABLE OF BEING DRAWN OR RETRACTED FULLY.
- 2.) THE BALCONY SHALL NOT BE ENCLOSED UNLESS WITH THE APPROVED BALCONY SCREEN.
- 3.) THE BALCONY SCREEN WILL NOT BE PROVIDED. INSTALLATION AT THE OWNER'S OWN COST.

THE DEVELOPERS

SUSTAINED LAND PTE LTD

Since its inception in 2006, Sustained Land's unwavering mission is to develop homes that are not only functional but exude style, quality and sophistication. It has since developed more than 2500 residential units, affirming its reputation as one of Singapore's premier property developers. Sky Everton joins Sustained Land's repertoire of iconic residential property projects which include Coastline Residences, One Meyer, Sturdee Residences, Tre Residences, The Poiz, Sea Horizon, Coastal Breeze Residences, 833 MB Residences, Tivoli Grande, The Line, 38 iSuites, Regent Residences and 8M Residences. Headquartered in Singapore, Sustained Land has subsidiaries, joint ventures and associates serving a broad spectrum of customers.



THE DEVELOPERS

HO LEE GROUP

The Ho Lee Group was incorporated in 1996 with the convergence of businesses ranging from general building construction to specialized metal works, formwork fabrication and sales and rental of construction machines and equipment. From its inception in 1996, HLG went on to acquire Wee Poh Construction Co. (Pte) Ltd (WPC) in 2005 which is a civil engineering construction company graded by the Building Construction Authority of Singapore (BCA) with an A1 grading. The Group also acquired Liang Huat Aluminium Ltd in 2007, an Aluminium and Curtain Wall Specialist listed on the Main Board of the Stocks Exchange of Singapore (SGX). The Group also expanded with the development of commercial and residential properties and has to date a varied portfolio of properties comprising the Built-to-Order Mauser Factory in Tuas, Singapore, The Watercolours Executive Condominium, The Heron Bay Executive Condominium, to name a few.



KWONG LEE LAND

Kwong Lee Land is the property arm of Kwong Lee Engineering. Started in 1969, Kwong Lee Engineering has established itself as Singapore's biggest and most trusted spiral steel pipe manufacturer. We are proud to have contributed to Singapore's progress by supplying a large part of Singapore's water transmission mains. We are committed to continue playing a key role in support of the efficient management of Singapore's precious water resources.

PENJURU CAPITAL PTE LTD

Penjuru Capital Pte Ltd is a Singapore incorporated investment holding company whose property portfolio includes residential projects in Singapore, Japan and the United Kingdom.

Jointly Developed By:



Developer: SL CAPITAL (6) PTE LTD • Company Registration Number: 201801570K • Developer's Licence Number: C1336 dated 24 April 2019 • Tenure of Land: Estate in Fee Simple (Freehold) • Expected Date of Vacant Possession: 3 September 2023 • Expected Date of Legal Completion: 3 September 2026 • Lot & Mukim No: 00818A & 01081P TS 23 • Building Plan No: A1720-00013-2018-BP01 dated 27 May 2018 • Encumbrances: Caveat(s) and Mortgage (s) registered in favour of United Overseas Bank Limited

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NOTE

